



## PLANNED PREVENTATIVE MAINTENANCE REPORT



on the premises known as:

**Claremont Special School, Henleaze Park, Bristol, BS9 4LR**

prepared for and on behalf of:

**Claremont Special School**

**File Ref:** 3051095  
**Date:** 21st March 2017

**CS2 Limited**  
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## **CONTENTS**

### **1.0 Introduction**

### **2.0 Limitations**

### **3.0 Summary Pages and PPM Schedules**

### **4.0 Expenditure Summaries**

## 1.0 Introduction

- 1.1 This report has been prepared following the receipt of instructions from Emma Cave on behalf of Claremont Special School.
- 1.2 This report is a Planned Preventative Maintenance Schedule designed to assist the school's asset management strategy. The purpose of this report is to provide a reasonable prediction of expenditure required over the next 10 years to put into repair and maintain the internal and external parts of the buildings within the school site. Works have been identified as required to ensure buildings and their components function adequately, preserve the value of the building and satisfy legal obligations.
- 1.3 In preparing this report we have reviewed the available information submitted to us, and carried out inspections of the building fabric and mechanical and electrical services during our visits to site.
- 1.5 It is intended that this schedule will be a live document, referred to, referenced, revised and updated. Therefore, it will prove a useful tool, providing accurate, up-to-date information, tuned by the knowledge and experience of the site staff using it.
- 1.6 The schedule should be reviewed annually in order to make an assessment whether all the planned maintenance issues need to be addressed as currently proposed. A review of current condition may identify certain items as now defunct, or assess current condition as requiring certain maintenance issues to be either moved forward or allowing other issues to be pushed back into later years. We can provide an electronic copy of the schedule upon request.
- 1.7 The findings of this report have been summarised on a building by building basis within the following pages. Each sheet sets out the principle maintenance issues and prioritises these using a 'traffic light' system
  - Red: Urgent issues requiring immediate attention to avoid further significant deterioration or health and safety concerns.
  - Amber: Issues of significance either in terms of their potential consequences if left unaddressed or the scale and scope of the works.
  - Green: Maintenance issues with limited risk for significant deterioration if performed diligently and regularly.
- 1.8 The overall projected expenditure for the site has also been presented within this summary. This is in the form of a bar graph showing the anticipated expenditure each year and how this is broken down between the different buildings.
- 1.9 Reporting years are assumed to correspond to calendar years with year 1 (one) commencing January 2017.

## 2.0 Limitations

- 2.1 In preparing this report we have considered planned preventative maintenance items and not reactive maintenance (except for those remedial items required in year 1 to put into repair). We therefore recommend that separate sinking funds are considered for this work, which may be based on historic expenditure.
- 2.2 All costs within this report are based upon today's cost, and there is no allowance for inflation. The costs also exclude professional and statutory fees, and VAT. All costs are budget estimates only and have been prepared using a mix of published data, experience, assessments of likely time taken to undertake works and associated typical daily rates. The PPM schedule should be updated annually using actual costs to update accordingly, i.e. for routine or cyclical items.
- 2.3 Please note that an allowance for safe access has been included in respect for the recommendations for working at height.
- 2.4 The schedules include summary requirements for cyclical maintenance based on manufacturer's recommendations and good practice. However, this report should not be viewed as an alternative to thorough examination of the relevant Health and Safety files.

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### 3.0 Summary Pages and PPM Schedules

# CLAREMONT SPECIAL SCHOOL PLANNED PREVENTATIVE MAINTENANCE

## SUMMARY: Claremont School, Block A



### PROPERTY DESCRIPTION

Property is a three storey structure with double pitched slate roof with period features including ashlar stone chimneys and decorative timber bargeboards and fascias.

External walls are random rubble stone walls with ashlar stone surrounds. Windows are timber sliding sashes.

Internal finishes to the majority comprise of a combination of decorative plasterwork, varnished timber paneling, decorative finishes to walls & joinery, varnished timber

**CONDITION: Poor**

### KEY MAINTENANCE ISSUES

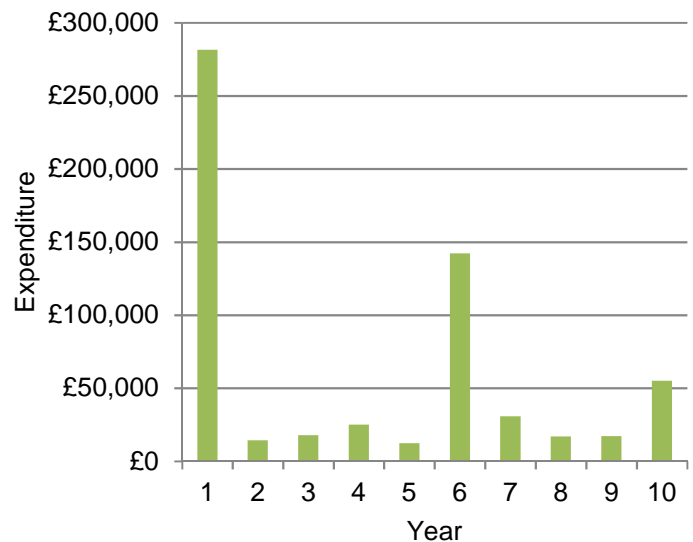
(Red = Urgent, Amber = Significant Issues, Green = Limited Risk)

- Maintenance to roof coverings and gutters
- Repairs and redecoration to external joinery and windows
- Repairs required to chimneys

- Cleaning and repairs to stonework

- Internal redecorations
- Phased floor covering replacement

### ANNUAL EXPENDITURE PROFILE



**PLANNED PREVENTATIVE MAINTENANCE SCHEDULE: CLAREMONT SPECIAL SCHOOL**

<b>Building.</b>	<b>Block A</b>											<b>Survey Date</b> 1st March 2017		
<b>Job No.</b>	<b>3051095</b>											<b>Surveyor</b> RT		
<b>Location</b>	<b>Element</b>	<b>Defect</b>	<b>Remedy</b>	<b>Cost</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>	<b>6</b>	<b>7</b>	<b>8</b>	<b>9</b>	<b>10</b>
<b>Block A - (Period Building)</b>														
<b>Safe Access</b>	Scaffolding.		Provide safe high level access for all of the following works.	£50,000.00						£30,000.00				
<b>Roofs</b>	Ashlar stone chimney structures.	Ashlar stone is noted with varying degrees of decay with lichen and moss growth as well as weathering to face of ashlar stone and erosion of mortar pointing and cement flaunching.	Undertake series of repairs including cleaning, stonework repairs, repointing and reflagging where necessary.	£22,500.00						£10,000.00				
	Stone copings.	Coping stones heavily soiled with lichen and moss growth with light deterioration noted and open mortar joints in localised areas.	Undertake general cleaning maintenance and repointing as appropriate, ensuring coping stones are sufficiently bed and secure.	£2,000.00						£2,000.00				
	Fair-faced brickwork parapet walls.	Fair-faced brickwork is generally weathered and soiled with lichen.	Thoroughly clean down and undertake isolated repointing as necessary.	£1,500.00						£1,500.00				
	Decorative slate roof covering to main pitched roof coverings.	Soiled with lichen and moss growth, including numerous slipped slates and bird guano.	Undertake cleaning maintenance to remove all moss and lichen. Carry out isolated repairs.	£15,000.00						£7,500.00				
	Clay ridge and hip tiles.	Heavily soiled with moss and lichen growth with localised cracking and deterioration noted.	Thoroughly clean down all ridge and hip tiles, allowing for isolated replacement and repair.	£7,500.00						£5,000.00				
	Leadwork forming valley gutters.	Leadwork is heavily soiled with moss, silt and vegetation debris.	Thoroughly clean down all leadwork valley gutters and allowance for isolated repair.	£3,000.00						£2,000.00				
		Water ingress noted along central lead valley gutter	Replace leadwork to central valley with new.	£8,500.00										

Building.	Block A											Survey Date 1st March 2017		
Job No.	3051095											Surveyor RT		
Location	Element	Defect	Remedy	Cost	1	2	3	4	5	6	7	8	9	10
	Leadwork roof covering to upper flat roof	Leadwork is heavily soiled with silt and vegetation debris.	Thoroughly clean down and allow for isolated repair.		£500.00									
		Standing seam to lower leadwork flat roof is heavily deteriorated. Leadwork is cracked with timber decay noted beneath.	Remove all cracked leadwork and decayed timber. Reform in new timber and replacement leadwork.		£5,000.00									
		Timber formed access steps are collapsed, heavily deteriorated and beyond economic repair.	Replace timber steps with new to match existing.		£1,500.00					£200.00				
	Metal railings to upper flat roof covering.	Railings noted in poor decorative condition and railings are leaning to the South elevation as a result of timber decay noted previously.	Correct the fixing to ensure vertical and undertake full redecoration.		£1,000.00					£500.00				
	Mineral felt flat roof covering over staff area.	Mineral felt is heavily deteriorated, weathered and beyond economic repair.	Replace mineral felt and deck with new to match existing.		£2,800.00					£250.00				
	Metal extract fan housing to ridge.	Heavily deteriorated beyond economic repair.	Replace with new to match existing.		£750.00									
	uPVC Ogee style guttering.	All eaves gutters are heavily choked with silt and vegetation growth.	Thoroughly clean all uPVC guttering inside and out.		£1,750.00					£1,750.00				
	Isolated areas of original cast iron Ogee guttering, rainwater hoppers.	Noted in poor decorative condition with surface corrosion noted.	Undertake surface corrosion treatment and redecorate.		£2,000.00					£1,750.00				
	Glazed single storey lean-to pitched roof covering adjacent to roadside.	Glazing and glazing bars are heavily soiled.	Thoroughly clean down.		£250.00					£250.00				
	Timber framed rooflights to pitched roof areas.	Timberwork is heavily deteriorated.	Replace rooflights with new modern heritage approved aluminium framed rooflights.		£2,750.00					£300.00				



Building.	Block A											Survey Date 1st March 2017		
Job No.	3051095											Surveyor RT		
Location	Element	Defect	Remedy	Cost	1	2	3	4	5	6	7	8	9	10
<u>West Elevation</u>	Random rubble stone walls.	Heavy staining and algae growth noted in localised areas.	Thoroughly clean down.	£2,000.00						£2,000.00				
		Stepped cracking noted in localised areas.	Allowance for localised repointing in matching mortar mix as necessary.	£1,000.00						£1,000.00				
		Localised areas of eroded mortar pointing.	Undertake localised repointing repairs allowance circa 12 sq. m.	£900.00						£900.00				
		Residual vine growth noted.	Remove and dispose off site.	£300.00										
	Ashlar stone surrounds to windows and stone mullions.	Ashlar stone has varying degrees of staining throughout.	We recommend undertaking localised cleaning commencing with the worst affected.	£2,500.00				£2,500.00			£2,500.00			£2,500.00
		Vertical cracking noted to low level of right hand bay window.	Undertake stone repairs and repoint as necessary.	£350.00										
		Varying degrees of deterioration noted to ashlar stone.	Undertake sympathetic repairs as necessary using a qualified stone mason.	£7,500.00						£4,000.00				
	External timber joinery comprising of decorative bargeboards and fascias as well as exposed rafter ends.	Joinery noted in poor decorative condition with varying degrees of timber decay noted.	Undertake sympathetic timber repairs as necessary and redecorate throughout.	£6,500.00						£4,000.00				
	Timber sliding sash windows noted.	Windows noted in a heavily deteriorated decorative condition with varying degrees of timber decay noted.	Undertake sympathetic timber repairs as necessary, prepare surfaces and undertake full redecoration throughout. Overhaul and ease and adjust as necessary to ensure fully operational.	£3,750.00						£2,000.00				

Building.	Block A											Survey Date 1st March 2017		
Job No.	3051095											Surveyor RT		
Location	Element	Defect	Remedy	Cost	1	2	3	4	5	6	7	8	9	10
	Timber framed fixed glazing to lean-to corridor.	Windows noted in a lightly deteriorated decorative condition.	Prepare surfaces and redecorate.		£375.00					£375.00				
	Fully glazed powder coated aluminium single entrance door with fan light and half a leaf adjacent.	General soiling noted.	Thoroughly clean down.		£50.00	£50.00	£50.00	£50.00	£50.00	£50.00	£50.00	£50.00	£50.00	£50.00
	External metal pipework forming soil vent pipes.	Noted in a heavily deteriorated decorative condition.	Prepare surfaces, treat any surface corrosion noted and redecorate.		£350.00					£350.00				
	Timber fully glazed painted doors to left hand side classroom.	Generally noted in a poor and faded decorative condition.	Prepare surfaces and redecorate.		£220.00					£220.00				
	Fair-faced brickwork noted to far left hand side.	General soiling and localised pointing erosion noted.	Thoroughly clean down and undertaken localised repointing.		£300.00					£200.00				
	Non-decorated render finish to first storey structure to left hand side.	General crazing and staining noted with 3No instances of corrosion staining.	Undertake localised repairs and decorate.		£325.00					£325.00				
	uPVC rainwater downpipes and soil vent pipes are heavily soiled with guano and lichen.	Thoroughly clean down.			£150.00		£150.00		£150.00		£150.00		£150.00	
	uPVC Ogee type rainwater goods.	Mechanical damage noted to left hand side of period building.	Replace section of gutter with new to match existing.		£250.00									
	Cast iron rainwater goods.	Severely corroded cast iron gutters to front gable.	Remove and replace with modern uPVC to match.		£250.00									
	External fire escape staircase.	Heavily soiled with algae and surface corrosion noted.	Clean down and treat surface corrosion. Undertake decoration of stair treads.		£350.00					£200.00				

Building.	Block A											Survey Date 1st March 2017		
Job No.	3051095											Surveyor RT		
Location	Element	Defect	Remedy	Cost	1	2	3	4	5	6	7	8	9	10
<b>South Elevation</b>	Random rubble stone walls.	Heavy staining and algae growth noted in localised areas.	Thoroughly clean down.		£4,000.00					£4,000.00				
		Stepped cracking noted in localised areas.	Allowance for localised repointing in matching mortar mix as necessary.		£2,000.00					£2,000.00				
		Localised areas of eroded mortar pointing.	Undertake localised repointing repairs		£1,800.00					£1,800.00				
	Ashlar stone surrounds to windows and stone mullions.	Ashlar stone has varying degrees of staining throughout.	Undertake localised cleaning commencing with the worst affected.		£4,500.00			£4,500.00			£4,500.00			£4,500.00
		Varying degrees of deterioration noted to ashlar stone.	Undertake sympathetic repairs as necessary using a qualified stone mason.		£10,500.00					£5,000.00				
	External timber joinery comprising of decorative bargeboards and fascias as well as exposed rafter ends.	Joinery noted in poor decorative condition with varying degrees of timber decay noted.	Undertake sympathetic timber repairs as necessary and redecorate throughout.		£5,750.00					£2,000.00				
	Timber sliding sash windows noted.	Windows noted in a heavily deteriorated decorative condition with varying degrees of timber decay noted.	Undertake sympathetic timber repairs as necessary, prepare surfaces and undertake full redecoration throughout. Overhaul and ease and adjust as necessary to ensure fully operational.		£5,500.00					£3,750.00				
	External metal pipework forming soil vent pipes and rainwater downpipes.	Noted in a heavily deteriorated decorative condition.	Prepare surfaces, treat any surface corrosion noted and redecorate.		£1,750.00					£1,500.00				
	uPVC rainwater downpipes and soil vent pipes.	Heavily soiled with guano and lichen.	Thoroughly clean down.		£300.00		£300.00		£300.00		£300.00		£300.00	

Building.	Block A											Survey Date 1st March 2017		
Job No.	3051095											Surveyor RT		
Location	Element	Defect	Remedy	Cost	1	2	3	4	5	6	7	8	9	10
	Ashlar stone canopy detail with leadwork capping.	Ashlar stone is deteriorating, particularly at lower level and general staining is noted.	Undertake sympathetic and localised ashlar stone repairs including general repointing. Undertake careful cleaning maintenance where necessary.		£5,000.00			£2,000.00			£2,000.00			£2,000.00
		Leadwork capping is heavily stained.	Thoroughly clean down.		£200.00					£200.00				
	Asphalt roof covering to canopy structure with stone and slate surface covering.	Stone and slate are cracked in places with weed growth coming through cracks and to sheltered areas of canopy.	Remove all weed growth and apply weed killer. Replace damaged section of stone with new.		£100.00					£1,100.00				
	Combination of cast iron and steel secondary external fire escape staircases.	Both staircases are generally noted in poor decorative condition with surface corrosion noted to the majority.	Undertake detailed structural assessment of condition of cast iron secondary staircase and implement all advice and recommendations.		£1,000.00									
			Provisional sum for any recommended remedial works.		£3,000.00									
			Undertake sympathetic surface corrosion treatment and prepare surfaces and redecorate to match existing.		£2,750.00					£2,750.00				
			Allowance for full replacement.											£25,000.00
	Secondary sliding door	Noted in a soiled condition.	Clean down and ease and adjust.		£250.00			£250.00			£250.00			£250.00
	Stained fully glazed timber entrance doors.	Weathered and deteriorated particularly at lower level.	Prepare surfaces and restrain to match existing.		£220.00					£220.00				
	Leadwork capping noted to small roof structure to left hand side.	Noted in a heavily deteriorated condition beyond economic repair.	Replace roof covering with new to match existing.		£1,000.00					£150.00				

Building.	Block A											Survey Date 1st March 2017		
Job No.	3051095											Surveyor RT		
Location	Element	Defect	Remedy	Cost	1	2	3	4	5	6	7	8	9	10
<b>East Elevation</b>	Random rubble stone walls.	Heavy staining and algae growth noted in localised areas.	Thoroughly clean down.		£3,000.00					£3,000.00				
		Stepped cracking noted in localised areas.	Allowance for localised repointing in matching mortar mix as necessary.		£1,000.00					£1,000.00				
		Localised areas of eroded mortar pointing.	Undertake localised repointing repairs allowance circa 12 sq. m.		£1,500.00					£1,500.00				
	Ashlar stone surrounds to windows and stone mullions.	Ashlar stone has varying degrees of staining throughout.	We recommend undertaking localised cleaning commencing with the worst affected.		£3,500.00			£3,500.00			£3,500.00			£3,500.00
		Varying degrees of deterioration noted to ashlar stone.	Undertake sympathetic repairs as necessary using a qualified stone mason.		£8,500.00					£4,500.00				
	External timber joinery comprising of decorative bargeboards and fascias as well as exposed rafter ends.	Joinery noted in poor decorative condition with varying degrees of timber decay noted.	Undertake sympathetic timber repairs as necessary and redecorate throughout.		£7,000.00					£2,500.00				
	Timber sliding sash windows noted.	Windows noted in a heavily deteriorated decorative condition with varying degrees of timber decay noted.	Undertake sympathetic timber repairs as necessary, prepare surfaces and undertake full redecoration throughout. Overhaul and ease and adjust as necessary to ensure fully operational.		£6,500.00					£4,000.00				
	External metal pipework forming soil vent pipes.	Noted in a heavily deteriorated decorative condition.	Prepare surfaces, treat any surface corrosion noted and redecorate.		£700.00					£700.00				
	uPVC rainwater downpipes and soil vent pipes.	Heavily soiled with guano and lichen.	Thoroughly clean down.		£450.00		£450.00		£450.00		£450.00		£450.00	

Building.	Block A											Survey Date 1st March 2017		
Job No.	3051095											Surveyor RT		
Location	Element	Defect	Remedy	Cost	1	2	3	4	5	6	7	8	9	10
	uPVC Ogee type rainwater guttering and downpipes.	1No downpipe missing.	Reinstate downpipe to match existing profile.		£300.00									
	Powder coated aluminium glazing forming the orangery type lean to structure.	General soiled with lichen to the frame and glazing is soiled.	Thoroughly clean down.		£250.00		£250.00		£250.00		£250.00		£250.00	
	1No set of double louvre doors to plant room with a stained finish.	Early signs of deterioration.	Prepare surface and redecorate.				£220.00					£220.00		
	Single glazed crittal full height windows to staff room area at first floor.	Crittall windows are in a poor decorative condition and considerable deterioration also noted to window putty.	Thoroughly overhaul crittal windows, undertake redecoration and replace window putty throughout.		£2,100.00					£1,650.00				
		Render finish noted around crittal windows to staff room area is heavily deteriorated and cracking noted in places.	Undertake localised repairs to cracks and decorate.		£950.00					£300.00				
	Surface mounted gas supply pipework running horizontally across elevation.	Noted in poor decorative condition with surface corrosion noted.	Prepare surfaces and redecorate.		£250.00					£250.00				
	Painted render finish towards right hand side of elevation.	Light staining and hairline cracking noted. Decorative finish is likely worn.	Thoroughly clean and prepare surfaces, make good hairline cracking and redecorate to match existing.		£175.00					£175.00				
	Fair faced brickwork noted to right hand side of elevation.	Light staining and localised pointing erosion noted particularly at lower level.	Undertake sympathetic cleaning maintenance and carry out localised low level repointing works below injected dpc.		£1,125.00					£1,125.00				

Building.	Block A											Survey Date 1st March 2017		
Job No.	3051095											Surveyor RT		
Location	Element	Defect	Remedy	Cost	1	2	3	4	5	6	7	8	9	10
<b>INTERNALS Block A Ground Floor</b>  <b><u>Class 4, 5, 6 Outreach, Music Rm</u></b>         <b><u>Store 1, 2, 3 &amp; Buggy Store</u></b>	7no. metal 'S' shaped anchor plates to tie bars to right hand side.	Noted in a poor decorative condition with surface corrosion.	Prepare surfaces, treat corrosion and redecorate.		£175.00					£175.00				
	Modern double glazed timber windows noted to right hand side single storey structure.	Minor wear noted to decorative finishes.	Prepare and redecorate.				£800.00					£800.00		
	Ceilings.	The Ceiling and associated fittings are soiled.	Thoroughly clean as required.		£170.00		£155.00		£155.00		£330.00		£158.00	
	Doors.	General adjustment anticipated to internal doorsets.	Ease and adjust as required.											£240.00
	Fixtures.	General wear anticipated to tea point.	Replace, repair tea point as required.				£300.00					£2,800.00		
	Floors.	Soiling and wear anticipated to floor coverings and associated trim.	Thoroughly clean, treat or replace floor coverings as required.		£4,000.00	£500.00	£2,100.00	£500.00	£500.00	£500.00	£500.00	£500.00	£3,000.00	£4,000.00
	Decoration.	Wear and tear anticipated to decorated surfaces including walls, ceilings, exposed steelwork, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.		£6,500.00	£1,440.00	£1,160.00	£3,300.00	£1,840.00	£1,110.00	£800.00	£1,570.00	£2,500.00	
	Ceilings.	The Ceiling and associated fittings are soiled.	Thoroughly clean as required.		£90.00	£40.00	£95.00	£40.00	£95.00	£40.00	£145.00	£40.00	£95.00	£40.00
	Doors.	General adjustment anticipated to internal doorsets.	Ease and adjust as required.											£65.00
	Internal windows.	General soiling anticipated to tea point.	Thoroughly clean windows as required.		£150.00	£150.00	£150.00	£150.00	£150.00	£150.00	£150.00	£150.00	£150.00	£150.00

Building.	Block A											Survey Date 1st March 2017		
Job No.	3051095											Surveyor RT		
Location	Element	Defect	Remedy	Cost	1	2	3	4	5	6	7	8	9	10
<u>Toilets</u>	Floors.	Soiling and wear anticipated to floor coverings and associated trim.	Thoroughly clean or replace floor coverings as required.		£165.00	£165.00	£165.00	£165.00	£165.00	£2,500.00	£165.00	£165.00	£165.00	£165.00
	Decoration.	Wear and tear anticipated to decorated surfaces including walls, ceilings, exposed steelwork, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.		£2,560.00	£1,050.00	£500.00	£525.00	£1,350.00		£1,050.00			
	Ceilings.	The Ceiling and associated fittings are soiled.	Thoroughly clean as required.		£75.00		£85.00		£160.00		£85.00		£160.00	
	Doors.	General soiling and adjustment anticipated to internal doorsets.	Ease and adjust as required.											
	Floors.	Soiling and wear anticipated to the vinyl floor coverings.	Thoroughly clean or replace floor coverings as required.		£205.00	£205.00	£205.00	£205.00	£205.00	£205.00	£2,120.00	£205.00	£800.00	£205.00
	Sanitary ware.	Soiling and staining anticipated.	Thoroughly clean as required.		£150.00	£150.00	£150.00	£150.00	£150.00	£150.00	£150.00	£1,275.00	£150.00	£150.00
	Decoration.	Wear and tear anticipated to decorated surfaces including walls, ceilings, exposed steelwork, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.		£45.00			£1,130.00	£1,130.00	£840.00	£1,110.00			
<u>Cleaner cupboard</u>	Decoration.	Wear and tear anticipated to decorated surfaces including walls, ceilings, exposed steelwork, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.		£500.00					£350.00				
<u>Office</u>	Ceilings.	The Ceiling and associated fittings are soiled.	Thoroughly clean as required.			£30.00		£15.00		£15.00		£15.00		£15.00
	Doors.	General adjustment anticipated to internal doorsets.	Ease and adjust as required.											£25.00



Building.	Block A											Survey Date 1st March 2017		
Job No.	3051095											Surveyor RT		
Location	Element	Defect	Remedy	Cost	1	2	3	4	5	6	7	8	9	10
<u>Kitchen</u>	Floors.	Soiling and wear anticipated to floor coverings and associated trim.	Thoroughly clean or replace floor coverings as required.		£30.00	£30.00	£30.00	£30.00	£30.00	£30.00	£30.00	£300.00	£30.00	£30.00
	Decoration.	Wear and tear anticipated to decorated surfaces including walls, ceilings, exposed steelwork, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.					£425.00	£120.00	£120.00	£140.00			
	Ceilings.	The Ceiling and associated fittings are soiled.	Thoroughly clean as required.		£40.00		£15.00		£15.00		£15.00		£15.00	
	Doors.	General adjustment anticipated to internal doorsets.	Ease and adjust as required.										£25.00	
	Floors.	Soiling and wear anticipated to floor coverings and associated trim.	Thoroughly clean or replace floor coverings as required.		£400.00	£25.00	£25.00	£25.00	£25.00	£400.00	£25.00	£25.00	£25.00	£400.00
	Fixtures.	General wear anticipated to sink & tea point.	Replace sink as required & tea point.			£350.00								£2,800.00
	Decoration.	Wear and tear anticipated to decorated surfaces including walls, ceilings, exposed steelwork, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.				£450.00				£120.00			
<u>Hallways</u>	Ceilings.	The Ceiling and associated fittings are soiled.	Thoroughly clean as required.		£135.00		£60.00		£60.00		£135.00		£60.00	
	Doors.	General adjustment anticipated to internal doorsets.	Ease and adjust as required.									£75.00		
	Floors.	Soiling and wear anticipated to floor coverings and associated trim.	Thoroughly clean or replace floor coverings as required.		£125.00	£125.00	£125.00	£125.00	£125.00	£125.00	£1,760.00	£125.00	£125.00	£125.00

Building.	Block A											Survey Date 1st March 2017		
Job No.	3051095											Surveyor RT		
Location	Element	Defect	Remedy	Cost	1	2	3	4	5	6	7	8	9	10
<b>Cellar</b>  <b>INTERNALS Block A First floor and former flat Office 1, 2, and Meeting Rm (flat)</b>        <b>Hall &amp; staircase (flat)</b>	Decoration.	Wear and tear anticipated to decorated surfaces including walls, ceilings, exposed steelwork, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.		£500.00	£1,375.00	£1,375.00					£1,375.00	£1,375.00	
	Doors.	General adjustment anticipated and door handle wear.	Ease and adjust and replace handle as required.		£120.00									£25.00
	Ceilings.	The Ceiling and associated fittings are soiled.	Thoroughly clean as required.		£100.00	£20.00		£20.00		£120.00		£20.00		£120.00
	Doors.	General adjustment anticipated to internal doorsets.	Ease and adjust as required.		£600.00									£50.00
	Floors.	Soiling and wear anticipated to floor coverings and associated trim.	Thoroughly clean or replace floor coverings as required.		£125.00	£125.00	£125.00	£125.00	£125.00	£425.00	£425.00	£425.00	£125.00	£125.00
	Decoration.	Wear and tear anticipated to decorated surfaces including walls, ceilings, exposed steelwork, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.		£400.00	£660.00	£660.00		£500.00		£360.00	£400.00	£660.00	£660.00
	Ceilings.	The Ceiling and associated fittings are soiled.	Thoroughly clean as required.		£25.00		£35.00			£35.00			£35.00	
	Roof Lights.	General soiling anticipated to roof light.	Thoroughly clean glazing and frames.			£150.00					£150.00			
	Doors.	General adjustment anticipated to internal doorsets.	Ease and adjust as required.									£75.00		
	Floors.	Soiling and wear anticipated to floor coverings and associated trim.	Thoroughly clean or replace floor coverings as required.		£125.00	£125.00	£125.00	£125.00	£1,200.00	£125.00	£125.00	£125.00	£125.00	£125.00

Building.	Block A											Survey Date 1st March 2017		
Job No.	3051095											Surveyor RT		
Location	Element	Defect	Remedy	Cost	1	2	3	4	5	6	7	8	9	10
<u>Toilets (flat)</u>	Decoration.	Wear and tear anticipated to decorated surfaces including walls, ceilings, exposed steelwork, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.			£260.00	£260.00	£500.00	£360.00	£530.00	£530.00	£790.00	£260.00	£230.00
	Ceilings.	The Ceiling and associated fittings are soiled.	Thoroughly clean as required.		£25.00	£10.00			£10.00				£10.00	
	Doors.	General soiling and adjustment anticipated to internal doorsets.	Ease and adjust as required.									£20.00		
	Floors.	Soiling and wear anticipated to the vinyl floor coverings.	Thoroughly clean or replace floor coverings as required.		£10.00	£100.00	£10.00	£10.00	£10.00	£10.00	£10.00	£10.00	£10.00	£10.00
	Sanitary ware.	Soiling and staining anticipated.	Thoroughly clean as required.		£15.00	£15.00	£15.00	£15.00	£15.00	£15.00	£600.00	£15.00	£15.00	£15.00
<u>Cleaner cupboard (flat)</u>	Decoration.	Wear and tear anticipated to decorated surfaces including walls, ceilings, exposed steelwork, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.					£205.00		£100.00		£120.00	£205.00	
	Decoration.	Wear and tear anticipated to decorated surfaces including walls, ceilings, exposed steelwork, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.				£145.00		£50.00		£140.00			
<u>Training Rm &amp; Outreach</u>	Ceilings.	The Ceiling and associated fittings are soiled.	Thoroughly clean as required.		£50.00		£50.00			£100.00			£50.00	
	Floors.	Soiling and wear anticipated to floor coverings and associated trim.	Thoroughly clean or replace floor coverings as required.		£195.00	£195.00	£195.00	£195.00	£195.00	£195.00	£1,000.00	£1,000.00	£195.00	£195.00

Building.	Block A											Survey Date 1st March 2017		
Job No.	3051095											Surveyor RT		
Location	Element	Defect	Remedy	Cost	1	2	3	4	5	6	7	8	9	10
<u>Meeting Rm &amp; Reflection Rm</u>	Decoration.	Wear and tear anticipated to decorated surfaces including walls, ceilings, exposed steelwork, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.		£1,000.00		£800.00	£480.00	£500.00	£775.00	£775.00			£800.00
	Ceilings.	The Ceiling and associated fittings are soiled.	Thoroughly clean as required.		£20.00			£25.00			£25.00			£25.00
	Doors.	General adjustment anticipated to internal doorsets.	Ease and adjust as required.										£40.00	
	Floors.	Soiling and wear anticipated to floor coverings and associated trim.	Thoroughly clean or replace floor coverings as required.		£70.00	£70.00	£70.00	£70.00	£70.00	£70.00	£500.00	£70.00	£70.00	£70.00
	Decoration.	Wear and tear anticipated to decorated surfaces including walls, ceilings, exposed steelwork, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.		£450.00	£450.00	£300.00			£240.00		£300.00	£450.00	£450.00
<u>ICT Server Rm, Computer Rm, Staff Rm, Art Rm</u>	Ceilings.	The Ceiling and associated fittings are soiled.	Thoroughly clean as required.		£100.00		£80.00			£80.00			£80.00	
	Doors.	General adjustment anticipated to internal doorsets.	Ease and adjust as required.											£130.00
	Floors.	Soiling and wear anticipated to floor coverings and associated trim.	Thoroughly clean or replace floor coverings as required.		£1,800.00	£285.00	£285.00	£285.00	£285.00	£1,535.00	£285.00	£285.00	£285.00	£1,800.00
	Decoration.	Wear and tear anticipated to decorated surfaces including walls, ceilings, exposed steelwork, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.		£860.00		£400.00	£750.00	£500.00			£400.00	£500.00	£750.00
<u>Stores</u>	Ceilings.	The Ceiling and associated fittings are soiled.	Thoroughly clean as required.		£50.00			£25.00			£25.00			£25.00
	Doors.	General adjustment anticipated to internal doorsets.	Ease and adjust as required.											

Building.	Block A											Survey Date 1st March 2017		
Job No.	3051095											Surveyor RT		
Location	Element	Defect	Remedy	Cost	1	2	3	4	5	6	7	8	9	10
<u>Kitchenettes</u>	Floors.	Soiling and wear anticipated to floor coverings and associated trim.	Thoroughly clean or replace floor coverings as required.		£600.00	£55.00	£55.00	£55.00	£55.00	£55.00	£55.00	£55.00	£55.00	£55.00
	Decoration.	Wear and tear anticipated to decorated surfaces including walls, ceilings, exposed steelwork, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.		£680.00	£410.00				£240.00				
	Ceilings.	The Ceiling and associated fittings are soiled.	Thoroughly clean as required.		£50.00			£25.00			£25.00			£25.00
	Doors.	General adjustment anticipated to internal doorsets.	Ease and adjust as required.											
	Floors.	Soiling and wear anticipated to floor coverings and associated trim.	Thoroughly clean or replace floor coverings as required.		£70.00	£70.00	£520.00	£320.00	£70.00	£70.00	£70.00	£70.00	£70.00	£70.00
	Fixtures.	General wear anticipated to sink & tea point.	Replace sink as required & tea point.			£350.00							£2,800.00	£2,800.00
	Decoration.	Wear and tear anticipated to decorated surfaces including walls, ceilings, exposed steelwork, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.				£130.00	£480.00			£160.00	£110.00	£240.00	
<u>W/C's</u>	Ceilings.	The Ceiling and associated fittings are soiled.	Thoroughly clean as required.		£25.00			£15.00			£15.00			£15.00
	Doors.	General soiling and adjustment anticipated to internal doorsets.	Ease and adjust as required.									£30.00		
	Floors.	Soiling and wear anticipated to the vinyl floor coverings.	Thoroughly clean or replace floor coverings as required.		£160.00					£120.00				
	Sanitary ware.	Soiling and staining anticipated.	Thoroughly clean as required.		£30.00	£30.00	£30.00	£30.00	£30.00	£30.00	£30.00	£600.00	£30.00	£30.00

Building.	Block A											Survey Date 1st March 2017		
Job No.	3051095											Surveyor RT		
Location	Element	Defect	Remedy	Cost	1	2	3	4	5	6	7	8	9	10
<u>Hall way</u>	Decoration.	Wear and tear anticipated to decorated surfaces including walls, ceilings, exposed steelwork, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.		£100.00	£330.00				£240.00	£250.00	£50.00		
	Ceilings.	The Ceiling and associated fittings are soiled.	Thoroughly clean as required.		£150.00		£60.00		£150.00		£60.00		£150.00	
	Doors.	General adjustment anticipated to internal doorsets.	Ease and adjust as required.									£70.00		
	Floors.	Soiling and wear anticipated to floor coverings and associated trim.	Thoroughly clean or replace floor coverings as required.		£600.00	£400.00	£100.00	£100.00	£100.00	£100.00	£300.00	£100.00	£100.00	£100.00
<u>Staircases</u>	Decoration.	Wear and tear anticipated to decorated surfaces including walls, ceilings, exposed steelwork, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.		£3,100.00		£2,300.00	£1,400.00	£500.00		£200.00		£450.00	
	Ceilings.	The Ceiling and associated fittings are soiled.	Thoroughly clean as required.		£75.00			£65.00			£150.00			£65.00
	Doors.	General adjustment anticipated to internal doorsets.	Ease and adjust as required.									£100.00		
	Floors.	Soiling and wear anticipated to floor coverings and associated trim.	Thoroughly clean or replace floor coverings as required.		£150.00	£150.00	£150.00	£150.00	£150.00	£150.00	£1,800.00	£150.00	£150.00	£150.00
<u>Loft spaces</u>	Decoration.	Wear and tear anticipated to decorated surfaces including walls, ceilings, exposed steelwork, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.		£300.00	£4,500.00	£1,500.00			£300.00		£1,950.00		
	Ceilings.	The Ceiling and associated fittings are soiled.	Thoroughly clean as required.		£150.00			£35.00				£35.00		
	Doors.	General adjustment anticipated to internal doorsets.	Ease and adjust as required.											

Building.	Block A											Survey Date 1st March 2017		
Job No.	3051095											Surveyor RT		
Location	Element	Defect	Remedy	Cost	1	2	3	4	5	6	7	8	9	10
<u>Windows</u>	Floors.	Wear anticipated to timber floor boards.	Piece in new floor boards as required.		£450.00									
	Decoration.	Wear and tear anticipated to decorated surfaces including walls, ceilings, exposed steelwork, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.		£600.00									
	Decoration	Previously decorated internal face of timber windows	Prepare surfaces and redecorate		£9,500.00					£6,000.00				
<b>TOTALS</b>					£281,585.00	£14,445.00	£17,765.00	£25,090.00	£12,350.00	£142,160.00	£30,845.00	£17,065.00	£17,268.00	£55,125.00

# CLAREMONT SPECIAL SCHOOL PLANNED PREVENTATIVE MAINTENANCE

## SUMMARY: Claremont School, Block B



### PROPERTY DESCRIPTION

Property is a single storey structure with Mineral felt flat roof and Numerous Georgian wired glazed rooflights. External walls are fair faced brickwork and Powder coated aluminium double glazed opening casement windows. Internal finishes to the majority comprise of a combination of vinyl and carpet floor coverings decorative finishes to walls and suspend ceilings.

### CONDITION:

### KEY MAINTENANCE ISSUES

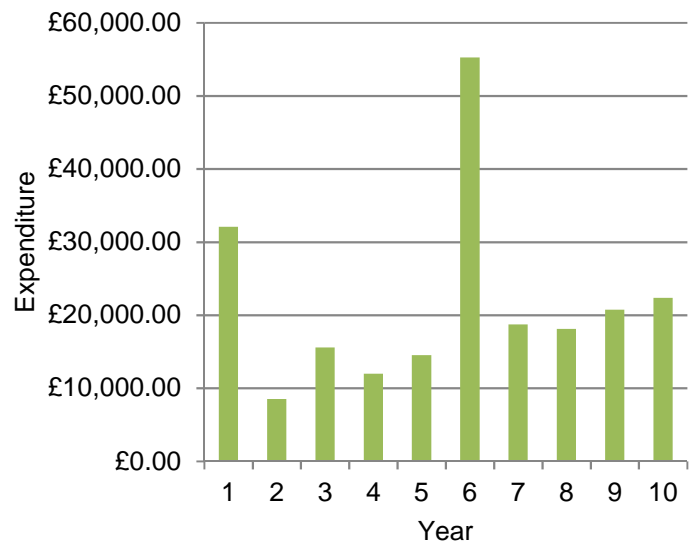
(Red = Urgent, Amber = Significant Issues, Green = Limited Risk)

- Repairs and cleaning to flat roof covering and drainage outlets

- Allowance for flat roof replacement

- Cleaning to windows and uPVC cladding

### ANNUAL EXPENDITURE PROFILE





**PLANNED PREVENTATIVE MAINTENANCE SCHEDULE: CLAREMONT SPECIAL SCHOOL**

<b>Building.</b>	<b>Block B</b>											<b>Survey Date</b> 1st March 2017		
<b>Job No.</b>	<b>3051095</b>											<b>Surveyor</b> RT		
<b>Location</b>	<b>Element</b>	<b>Defect</b>	<b>Remedy</b>	<b>Cost</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>	<b>6</b>	<b>7</b>	<b>8</b>	<b>9</b>	<b>10</b>
<b>Block B (60's single storey building)</b>														
<b>Safe Access</b>	Scaffolding.		Provide safe high level access for all of the following works.	£5,000.00						£5,000.00				
<b>Roofs</b>	Mineral felt flat roof covering with inset drainage outlets.	Considerable ponding, silt and moss debris noted to mineral felt surface.	Thoroughly clean down roof covering to remove all evidence of silt and moss.	£1,925.00										
		Moss and debris noted to gutter outlets and balloon guards missing to the majority.	Remove all debris from outlets and jet through downpipes. Reinstate all balloon guards and ensure securely fixed.	£500.00										
		Localised deterioration to mineral felt at eaves.	Overlay mineral felt at eaves details.	£4,850.00										
		Anticipate mineral felt will reach end of life.	Allow for wholesale replacement of mineral felt flat roof covering.							£32,000.00				
		Heavy build up of moss, lichen, silt and vegetation growth noted to far West side of mineral felt flat roof where it meets the period building.	Thoroughly clean down and allow for patch repairs and overlay to general area - circa 12 sq. m.	£2,000.00										
	Numerous Georgian wired glazed rooflights in flat roof.	Frame and glazing are heavily soiled.	Thoroughly clean down and allowance for replacement of cracked glazing.			£1,050.00								
	Aluminium framed pitched glazed rooflight.	Glazing and framework is soiled.	Thoroughly clean down.			£350.00		£350.00		£350.00		£350.00		£350.00
	Plastic micro-rib type translucent roof light covering noted to South east and south west corners.	Heavily soiled and drainage channel is choked with leaf litter and silt.	Thoroughly clean down covering and drainage channel.	£200.00		£200.00			£200.00		£200.00		£200.00	

Building.	Block B											Survey Date 1st March 2017		
Job No.	3051095											Surveyor RT		
Location	Element	Defect	Remedy	Cost	1	2	3	4	5	6	7	8	9	10
<u>Elevations</u>	Glazed lean-to roof structure to corridor on East side.	Glazing and framework is soiled.	Thoroughly clean down.		£200.00		£200.00		£200.00		£200.00		£200.00	
	Fair-faced brickwork.	Light staining noted in localised areas.	Undertake cleaning maintenance.				£2,000.00			£2,000.00			£2,000.00	
	High level uPVC ship lap cladding detail to perimeter.	uPVC is heavily stained.	Thoroughly clean down.		£750.00			£750.00			£750.00			
	Powder coated aluminium double glazed opening casement windows.	Windows are generally weathered and soiled.	Thoroughly clean down and polish powder coated finish to rejuvenate colour.		£1,600.00					£1,600.00				
		Perimeter mastic showing early signs of deterioration.	Rake out mastic perimeter seal and replace with new.				£480.00					£480.00		
	Powder coated aluminium fully glazed double entrance doors.	Generally noted in a soiled and lightly marked condition.	Thoroughly clean down and allowance for isolated repairs.		£250.00					£250.00				
	Aluminium framed canopy structure noted to North West corner.	Framework is heavily soiled and stained.	Thoroughly clean down.		£200.00		£200.00		£200.00		£200.00		£200.00	
	Timber framed full height glazing noted to South East corner.	Timberwork noted in a heavily deteriorated condition and beyond economic repair.	Replace section of full height glazing with modern powder coated double glazed aluminium - circa 14 sq. m.		£5,000.00									
	Exposed steelwork to corner canopy structures.	Noted with surface corrosion and in a poor decorative condition.	Prepare surfaces, treat corrosion and redecorate.			£375.00				£375.00				£375.00

Building.	Block B											Survey Date 1st March 2017		
Job No.	3051095											Surveyor RT		
Location	Element	Defect	Remedy	Cost	1	2	3	4	5	6	7	8	9	10
<b>INTERNALS Block</b>  <u>Library &amp; Computer room, Front office, physio, Office 1&amp;2, Library Store, Stationery store.</u>	Timber framed single glazing noted to corridor single storey lean to structure.	Windows and associated doorsets are in a heavily deteriorated condition.	Undertake localised timber repairs, prepare surfaces and redecorate throughout.		£1,800.00					£1,800.00				
		Concrete blockwork to lower level is heavily stained with light vegetation growth noted from mortar joints.	Apply fungicidal wash and remove vegetation.		£150.00					£150.00				
	Metal box gutters noted to single storey corridor glazed structure.	Gutters are choked with silt and vegetation growth and external powder coated surface is heavily faded.	Thoroughly clean gutters and jet through downpipes. Undertake thorough cleaning of external face of guttering and downpipes.		£100.00		£100.00		£100.00		£100.00		£100.00	
	Timber ship lap cladding and integral doorset are noted to South East courtyard.	Timber ship lap is noted in poor decorative condition and bowing and deterioration of the ship lap is noted.	We recommend that isolated ship lap boarding is replaced and all surfaces are prepared and redecorated to match existing.		£325.00					£100.00				
			Prepare surfaces and redecorate doorset.		£100.00					£100.00				
	Ceilings.	The Ceiling and associated fittings are soiled.	Thoroughly clean as required.		£650.00	£265.00	£265.00	£70.00	£70.00	£110.00	£615.00	£300.00	£25.00	£85.00
	Roof Lights.	General soiling anticipated to roof light.	Thoroughly clean glazing and frames.			£50.00				£50.00				£50.00
	Windows.	General soiling anticipated to internal elevation of external windows.	Thoroughly clean glazing and frames.											
	Doors.	General adjustment anticipated to internal doorsets.	Ease and adjust as required.											£100.00

Building.	Block B											Survey Date 1st March 2017		
Job No.	3051095											Surveyor RT		
Location	Element	Defect	Remedy	Cost	1	2	3	4	5	6	7	8	9	10
<u>Classrooms 1,2,3</u>	Decoration.	Wear and tear anticipated to decorated surfaces including walls, ceilings, exposed steelwork, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.		£360.00		£2,590.00		£120.00			£2,590.00	£240.00	
	Ceilings.	The Ceiling and associated fittings are soiled.	Thoroughly clean as required.		£2,610.00		£170.00	£2,200.00		£170.00	£2,200.00		£170.00	£3,100.00
	Roof Lights.	General soiling anticipated to roof light.	Thoroughly clean glazing and frames.			£150.00			£150.00				£150.00	
	Windows.	General soiling anticipated to internal elevation of external windows.	Thoroughly clean glazing and frames.											
	Doors.	General adjustment anticipated to internal doorsets.	Ease and adjust as required.					£960.00						£130.00
	Floors.	Soiling and wear anticipated to floor coverings and associated trim.	Thoroughly clean or replace floor coverings as required.		£230.00	£230.00	£230.00	£230.00	£230.00	£230.00	£230.00	£3,480.00	£3,480.00	£3,480.00
	Decoration.	Wear and tear anticipated to decorated surfaces including walls, ceilings, exposed steelwork, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.			£870.00	£1,870.00	£870.00			£870.00	£1,870.00	£870.00	
	Fixtures.	General wear anticipated to tea point.	Replace tea points as required.						£1,000.00				£2,800.00	£5,600.00
<u>Toilets</u>	Ceilings.	The Ceiling and associated fittings are soiled.	Thoroughly clean as required.		£100.00	£315.00	£440.00		£315.00	£440.00		£315.00	£860.00	£420.00
	Doors.	General soiling and adjustment anticipated to internal doorsets.	Ease and adjust as required.											£130.00

Building.	Block B											Survey Date 1st March 2017		
Job No.	3051095											Surveyor RT		
Location	Element	Defect	Remedy	Cost	1	2	3	4	5	6	7	8	9	10
<u>Physio Admin, Nurse Rm</u>	Floors.	Soiling and wear anticipated to the vinyl floor coverings.	Thoroughly clean or replace floor coverings as required.		£200.00	£200.00	£200.00	£200.00	£200.00	£1,200.00	£1,200.00	£1,200.00	£200.00	£200.00
	Sanitary ware.	Soiling and staining anticipated.	Thoroughly clean as required.		£150.00	£150.00	£150.00	£150.00	£150.00	£150.00	£150.00	£150.00	£150.00	£150.00
	Decoration.	Wear and tear anticipated to decorated surfaces including walls, ceilings, exposed steelwork, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.		£750.00	£1,000.00			£560.00	£1,590.00	£1,000.00			£560.00
	Fixtures.	General wear anticipated to tea point.	Replace tea points as required.				£250.00		£500.00		£2,800.00		£2,800.00	£2,800.00
	Ceilings.	The Ceiling and associated fittings are soiled.	Thoroughly clean as required.		£100.00	£125.00	£195.00		£125.00	£195.00		£170.00	£195.00	£360.00
	Doors.	General adjustment anticipated to internal doorsets.	Ease and adjust as required.											£55.00
	Floors.	Soiling and wear anticipated to floor coverings and associated trim.	Thoroughly clean or replace floor coverings as required.		£90.00	£90.00	£90.00	£90.00	£90.00	£90.00	£90.00	£800.00	£90.00	£550.00
	Fixtures.	General wear anticipated to sink & tea point.	Replace sink as required & tea point.		£15.00	£15.00	£15.00	£250.00	£265.00	£15.00	£15.00	£15.00	£2,815.00	£2,800.00
	Decoration.	Wear and tear anticipated to decorated surfaces including walls, ceilings, exposed steelwork, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.			£120.00	£480.00	£580.00	£290.00			£480.00	£580.00	
<u>Buggy Store</u>	Ceilings.	The Ceiling and associated fittings are soiled.	Thoroughly clean as required.		£150.00		£150.00		£150.00		£150.00		£150.00	

Building.	Block B											Survey Date 1st March 2017		
Job No.	3051095											Surveyor RT		
Location	Element	Defect	Remedy	Cost	1	2	3	4	5	6	7	8	9	10
<b>Hall</b>	Floors.	Soiling and wear anticipated to floor coverings and associated trim.	Thoroughly clean or replace floor coverings as required.		£60.00	£60.00	£60.00	£60.00	£850.00	£60.00	£60.00	£60.00	£60.00	£60.00
	Decoration.	Wear and tear anticipated to decorated surfaces including walls, ceilings, exposed steelwork, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.			£890.00					£610.00			
	Ceilings.	The Ceiling and associated fittings are soiled.	Thoroughly clean as required.		£460.00	£1,450.00	£120.00		£1,450.00	£120.00		£2,020.00	£120.00	
	Doors.	General adjustment anticipated to internal doorsets.	Ease and adjust as required.											£190.00
	Floors.	Soiling and wear anticipated to floor coverings and associated trim.	Thoroughly clean or replace floor coverings as required.		£455.00	£455.00	£455.00	£455.00	£455.00	£455.00	£455.00	£1,600.00	£1,600.00	£455.00
	Decoration.	Wear and tear anticipated to decorated surfaces including walls, ceilings, exposed steelwork, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.				£4,000.00	£2,000.00	£2,000.00	£1,440.00	£2,000.00	£2,000.00		
<b>Kitchen</b>	Ceilings.	The Ceiling and associated fittings are soiled.	Thoroughly clean as required.		£530.00	£60.00	£420.00		£421.00	£60.00	£580.00		£423.00	£60.00
	Doors.	General adjustment anticipated to internal doorsets.	Ease and adjust as required.											£80.00
	Floors.	Soiling and wear anticipated to floor coverings and associated trim.	Thoroughly clean or replace floor coverings as required.		£130.00	£130.00	£130.00	£1,860.00	£130.00	£130.00	£130.00	£130.00	£130.00	£130.00
	Fixtures.	General wear anticipated to sink & tea point.	Replace sink as required & tea point.						£4,000.00	£4,000.00	£4,000.00			

Building.	Block B											Survey Date 1st March 2017		
Job No.	3051095											Surveyor RT		
Location	Element	Defect	Remedy	Cost	1	2	3	4	5	6	7	8	9	10
<u>Windows</u>	Decoration.	Wear and tear anticipated to decorated surfaces including walls, ceilings, exposed steelwork, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.					£600.00		£925.00				
	Decoration	Previously decorated internal face of timber windows	Prepare surfaces and redecorate		£1,200.00					£1,200.00				
<b>TOTALS</b>					£32,102.00	£8,512.00	£15,572.00	£11,965.00	£14,506.00	£55,267.00	£18,717.00	£18,122.00	£20,720.00	£22,382.00

# CLAREMONT SPECIAL SCHOOL PLANNED PREVENTATIVE MAINTENANCE

## SUMMARY: Claremont School, Block C, School Hall



### PROPERTY DESCRIPTION

Property is a single storey structure with pitched roof and Cement roof tiles. External walls consist of fair faced concrete blockwork and decorated timber opening casement windows & doors. Internal finishes to the majority comprise of a combination of vinyl and carpet floor coverings with decorative finishes to walls and joinery.

### CONDITION:

### KEY MAINTENANCE ISSUES

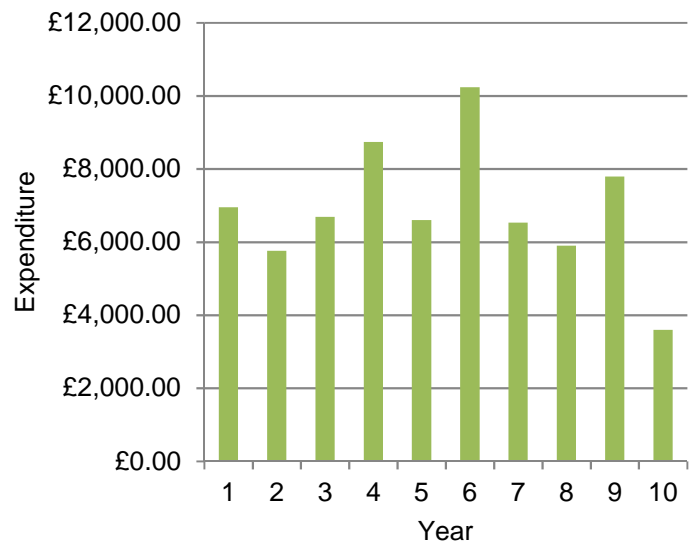
(Red = Urgent, Amber = Significant Issues, Green = Limited Risk)

- Repairs and redecoration of timber windows and doorset to south elevation

- Redecoration of remaining timber windows

- General cleaning maintenance

### ANNUAL EXPENDITURE PROFILE





**PLANNED PREVENTATIVE MAINTENANCE SCHEDULE: CLAREMONT SPECIAL SCHOOL**

Building.	Block C - School Hall Building											Survey Date 1st March 2017		
Job No.	3051095											Surveyor RT		
Location	Element	Defect	Remedy	Cost	1	2	3	4	5	6	7	8	9	10
<b>Block C</b>														
<b>Safe Access</b>			Provide safe high level access for all of the following works.		£500.00	£500.00	£500.00			£500.00	£500.00	£500.00	£500.00	
<b>Roofs</b>	Cement roof tiles noted to single-storey pitched roof covering	Roof tiles are soiled with lichen and moss throughout.	Thoroughly clean down and dispose of debris off site.				£750.00					£750.00		
	Composite panelling to bargeboards and fascias.	Surfaces are heavily soiled.	Thoroughly clean down.				£300.00					£300.00		
	Velux rooflights.	Rooflights are soiled.	Thoroughly clean down. 12no.				£600.00					£600.00		
	Ogee style uPVC guttering to eaves.	Gutters are heavily choked with silt and vegetation growth.	Thoroughly clean down all eaves guttering and jet through downpipes.			£270.00								
<b>Elevations</b>	Previously decorated exposed timber fascias, soffits and exposed rafter ends noted	Decorative surfaces are deteriorated.	Prepare surfaces and undertake redecoration.		£850.00					£850.00				
	Fair faced concrete blockwork.	Lightly stained particularly at lower level.	Undertake isolated cleaning of concrete blockwork.				£250.00					£250.00		
	Previously decorated timber opening casement windows and doors	Windows and doors are lightly soiled and decorative finish is lightly deteriorating.	Prepare surfaces and redecorate.			£1,000.00					£1,000.00			
	Previously decorated timber windows and doors.	South elevation noted in a heavily deteriorated condition.	Undertake preparation works prior to full redecoration.		£1,500.00					£1,500.00				
	Previously decorated gate doorset leading to south east Courtyard.	Minor decorative deteriorated noted.	Prepare surfaces and redecorate.		£200.00					£200.00				

**PLANNED PREVENTATIVE MAINTENANCE SCHEDULE: CLAREMONT SPECIAL SCHOOL**

Building.	Block C - School Hall Building											Survey Date 1st March 2017		
Job No.	3051095											Surveyor RT		
Location	Element	Defect	Remedy	Cost	1	2	3	4	5	6	7	8	9	10
<b><u>INTERNALS Block</u></b>														
<b><u>Speech &amp; language, servery, store 1</u></b>	Ceilings.	The Ceiling and associated fittings are soiled or beyond repair.	Thoroughly clean or replace as required.				£50.00			£50.00			£50.00	
	Fixtures.	General wear anticipated to servery work top.	Replace work top as required.						£350.00					
	Doors.	General adjustment anticipated to internal doorsets.	Ease and adjust as required.										£65.00	
	Floors.	Soiling and wear anticipated to floor coverings and associated trim.	Thoroughly clean or replace floor coverings as required.		£115.00	£115.00	£1,610.00	£115.00	£115.00	£115.00	£115.00	£115.00	£115.00	£115.00
	Decoration.	Wear and tear anticipated to decorated surfaces including walls, ceilings, exposed steelwork, joinerv.	Undertake periodic redecoration maintenance throughout.					£480.00	£250.00	£1,000.00	£1,000.00	£750.00		
<b><u>Store 2, Laundry, Dark Rm,</u></b>	Ceilings.	The Ceiling and associated fittings are soiled or beyond repair.	Thoroughly clean or replace as required.		£40.00		£75.00	£40.00		£75.00	£40.00		£75.00	£40.00
	Doors.	General adjustment anticipated to internal doorsets.	Ease and adjust as required.										£50.00	
	Floors.	Soiling and wear anticipated to floor coverings and associated trim.	Thoroughly clean or replace floor coverings as required.						£300.00				£200.00	
	Decoration.	Wear and tear anticipated to decorated surfaces including walls, ceilings, exposed steelwork, joinerv.	Undertake periodic redecoration maintenance throughout.			£600.00	£730.00		£360.00		£130.00			
	Fixtures.	General wear anticipated to tea point.	Replace tea points as required.					£250.00						£2,800.00
<b><u>Sports Hall</u></b>	Ceilings.	The Ceiling and associated fittings are soiled.	Thoroughly clean as required.		£50.00	£50.00		£100.00					£100.00	

**PLANNED PREVENTATIVE MAINTENANCE SCHEDULE: CLAREMONT SPECIAL SCHOOL**

Building.	Block C - School Hall Building											Survey Date 1st March 2017		
Job No.	3051095											Surveyor RT		
Location	Element	Defect	Remedy	Cost	1	2	3	4	5	6	7	8	9	10
<b>W/C</b>	Doors.	General adjustment anticipated to internal doorsets.	Ease and adjust as required.										£70.00	
	Floors.	Soiling and wear anticipated to floor coverings and associated trim.	Thoroughly clean or replace floor coverings as required.		£320.00	£320.00	£320.00	£320.00	£320.00	£4,500.00	£320.00	£320.00	£320.00	£320.00
	Decoration.	Wear and tear anticipated to decorated surfaces including walls, ceilings, exposed steelwork, joinery,	Undertake periodic redecoration maintenance throughout.					£6,000.00	£3,400.00		£480.00		£6,000.00	
	Ceilings.	The Ceiling and associated fittings are soiled.	Thoroughly clean as required.			£20.00						£50.00		
	Doors.	General adjustment anticipated to internal doorsets.	Ease and adjust as required.									£25.00		
	Floors.	Soiling and wear anticipated to floor coverings and associated trim.	Thoroughly clean or replace floor coverings as required.		£30.00	£30.00	£30.00	£30.00	£30.00	£30.00	£30.00	£250.00	£30.00	£30.00
	Sanitary ware.	Soiling and staining anticipated.	Thoroughly clean as required.		£15.00	£15.00	£15.00	£15.00	£15.00	£15.00	£15.00	£15.00	£15.00	£15.00
	Decoration.	Wear and tear anticipated to decorated surfaces including walls, ceilings, exposed steelwork joinery	Undertake periodic redecoration maintenance throughout.		£350.00						£350.00	£470.00		
<b>Hall</b>	Ceilings.	The Ceiling and associated fittings are soiled.	Thoroughly clean as required.		£80.00		£70.00		£70.00		£80.00	£70.00		£70.00
	Doors.	General adjustment anticipated to internal doorsets.	Ease and adjust as required.									£95.00		
	Floors.	Soiling and wear anticipated to floor coverings and associated trim.	Thoroughly clean or replace floor coverings as required.		£205.00	£205.00	£205.00	£205.00	£205.00	£205.00	£1,340.00	£1,340.00	£205.00	£205.00

**PLANNED PREVENTATIVE MAINTENANCE SCHEDULE: CLAREMONT SPECIAL SCHOOL**

<b>Building.</b>	<b>Block C - School Hall Building</b>											<b>Survey Date</b> 1st March 2017		
<b>Job No.</b>	<b>3051095</b>											<b>Surveyor</b> RT		
<b>Location</b>	<b>Element</b>	<b>Defect</b>	<b>Remedy</b>	<b>Cost</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>	<b>6</b>	<b>7</b>	<b>8</b>	<b>9</b>	<b>10</b>
<u><b>Windows</b></u>	Decoration.	Wear and tear anticipated to decorated surfaces including walls, ceilings, exposed steelwork. joinerv.	Undertake periodic redecoration maintenance throughout.		£1,500.00	£1,835.00	£1,185.00	£1,185.00	£1,185.00		£335.00			
	Decoration	Previously decorated internal face of timber windows	Prepare surfaces and redecorate		£1,200.00	£800.00				£1,200.00	£800.00			
<b>TOTALS</b>					£6,955.00	£5,760.00	£6,690.00	£8,740.00	£6,600.00	£10,240.00	£6,535.00	£5,900.00	£7,795.00	£3,595.00

# CLAREMONT SPECIAL SCHOOL PLANNED PREVENTATIVE MAINTENANCE

## SUMMARY: Claremont School, Block C, Swimming Pool



### PROPERTY DESCRIPTION

Property is a single storey structure with curved roof and standing seam zinc coverings.

External walls are a combination of fair faced concrete blockwork full height timber ship lap cladding and decorated timber opening casement windows.

Internal finishes to the majority comprise of a combination of tiled or carpeted floor coverings with decorative finishes to walls and joinery.

**CONDITION: Fair**

### KEY MAINTENANCE ISSUES

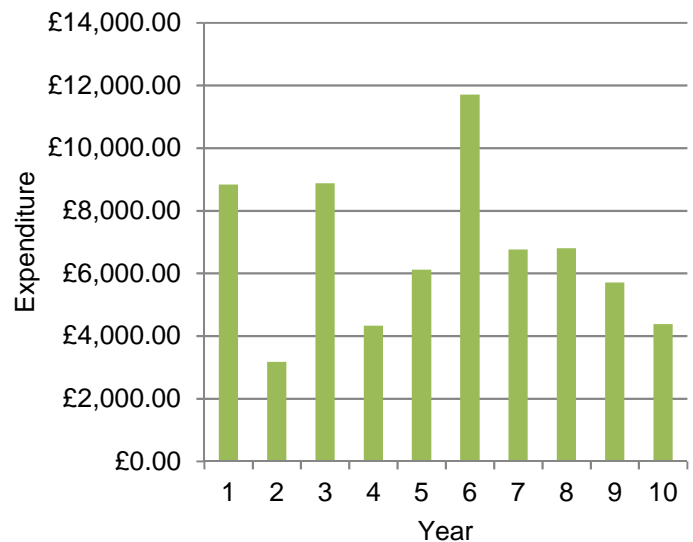
(Red = Urgent, Amber = Significant Issues, Green = Limited Risk)

- Redecoration of external joinery

- Redecoration of windows

- General cleaning maintenance

### ANNUAL EXPENDITURE PROFILE



**PLANNED PREVENTATIVE MAINTENANCE SCHEDULE: CLAREMONT SPECIAL SCHOOL**

<b>Building.</b>	<b>Block C - Swimming Pool Building</b>											<b>Survey Date</b> 1st March 2017		
<b>Job No.</b>	<b>3051095</b>											<b>Surveyor</b> RT		
<b>Location</b>	<b>Element</b>	<b>Defect</b>	<b>Remedy</b>	<b>Cost</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>	<b>6</b>	<b>7</b>	<b>8</b>	<b>9</b>	<b>10</b>
<b>Block C</b>														
<b><u>Safe Access</u></b>			Provide safe high level access for all of the following works.		£500.00	£500.00	£500.00							
<b><u>Roofs</u></b>	Curved roof structure with standing seam zinc roof covering noted.	Roof covering is generally soiled.	Thoroughly clean down.				£810.00			£810.00			£810.00	
	Leadwork flashing noted at abutment with adjacent block.	Flashing is soiled with moss and lichen.	Thoroughly clean down lead flashing.				£100.00							
	Composite panelling noted to fascias.	General soiling noted.	Thoroughly clean down.				£300.00							
	Aluminium half round eaves gutters and downpipes.	Guttering is soiled with silt and vegetation growth.	Thoroughly clean down and jet through downpipes.			£270.00		£270.00		£270.00		£270.00		£270.00
<b><u>Elevations</u></b>	Previously decorated exposed timber fascias, soffits and exposed structural timbers.	Decorative surfaces are deteriorated.	Prepare surfaces and undertake redecoration.		£1,650.00					£1,650.00				
	Fair faced concrete blockwork.	Blockwork is lightly stained particularly at lower level.	Undertake isolated cleaning of concrete blockwork accordingly.				£250.00					£250.00		
	Full height timber ship lap cladding noted to South and West elevations.	Light deterioration of decorative surfaces and timber work noted.	Undertake minor timber repairs and prepare surfaces prior to redecoration.		£775.00					£775.00				
	Previously decorated timber opening casement windows.	Windows are lightly soiled and decorative is lightly deteriorating.	Prepare surfaces and redecorate.		£1,050.00					£1,050.00				

**PLANNED PREVENTATIVE MAINTENANCE SCHEDULE: CLAREMONT SPECIAL SCHOOL**

<b>Building.</b>	<b>Block C - Swimming Pool Building</b>											<b>Survey Date</b> 1st March 2017		
<b>Job No.</b>	<b>3051095</b>											<b>Surveyor</b> RT		
<b>Location</b>	<b>Element</b>	<b>Defect</b>	<b>Remedy</b>	<b>Cost</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>	<b>6</b>	<b>7</b>	<b>8</b>	<b>9</b>	<b>10</b>
<b>INTERNALS Block C</b> <b>Store 3, Light Rm</b>	Previously painted timber entrance doors with adjacent fixed glazing.	Lightly deteriorated condition.	Prepare surfaces and redecorate.		£960.00					£960.00				
	Aluminium louvres noted to East elevations.	Light soiling noted.	Thoroughly clean down.			£100.00			£100.00			£100.00		
	Ceilings.	The Ceiling and associated fittings are soiled or beyond repair.	Thoroughly clean or replace as required.		£25.00			£50.00				£50.00		
	Doors.	General adjustment anticipated to internal doorsets.	Ease and adjust as required.											£35.00
	Floors.	Soiling and wear anticipated to floor coverings and associated trim.	Thoroughly clean or replace floor coverings as required.		£130.00	£130.00	£130.00	£130.00	£130.00	£130.00	£130.00	£130.00	£1,080.00	£1,080.00
<b>Changing Rm</b>	Decoration.	Wear and tear anticipated to decorated surfaces including walls, ceilings, exposed steelwork, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.				£870.00	£1,010.00			£1,420.00	£870.00	£870.00	
	Ceilings.	The Ceiling and associated fittings are soiled.	Thoroughly clean as required.		£445.00		£80.00		£270.00	£80.00			£455.00	
	Doors.	General soiling and adjustment anticipated to internal doorsets.	Ease and adjust as required.								£80.00			
	Floors.	Soiling and wear anticipated to the vinyl floor coverings.	Thoroughly clean or replace floor coverings as required.		£85.00	£85.00	£285.00	£85.00	£85.00	£285.00	£85.00	£85.00	£285.00	£85.00
	Sanitary ware.	Soiling and staining anticipated.	Thoroughly clean as required.		£50.00	£50.00	£50.00	£50.00	£50.00	£50.00	£50.00	£600.00	£50.00	£600.00

**PLANNED PREVENTATIVE MAINTENANCE SCHEDULE: CLAREMONT SPECIAL SCHOOL**

Building.	Block C - Swimming Pool Building											Survey Date 1st March 2017		
Job No.	3051095											Surveyor RT		
Location	Element	Defect	Remedy	Cost	1	2	3	4	5	6	7	8	9	10
<b>Pool Rm</b>	Decoration.	Wear and tear anticipated to decorated surfaces including walls, ceilings, exposed steelwork, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.		£180.00	£180.00	£480.00	£480.00	£180.00	£780.00	£180.00	£180.00	£480.00	£180.00
	Ceilings.	The Ceiling and associated fittings are soiled.	Thoroughly clean as required.		£100.00	£80.00			£80.00			£80.00		
	Doors.	General adjustment anticipated to internal doorsets.	Ease and adjust as required.										£20.00	
	Floors.	Soiling and wear anticipated to floor coverings and associated trim.	Thoroughly clean or replace floor coverings as required.		£282.00	£282.00	£782.00	£282.00	£282.00	£282.00	£782.00	£282.00	£282.00	£782.00
<b>Boiler Rm</b>	Pool.	General soiling and wear anticipated.	Thoroughly clean or skim grout as required.		£160.00	£160.00	£3,500.00	£160.00	£160.00	£2,660.00	£160.00	£160.00	£160.00	£160.00
	Ceilings.	The Ceiling and associated fittings are soiled.	Thoroughly clean as required.		£50.00				£50.00					£50.00
	Doors.	General adjustment anticipated to internal doorsets.	Ease and adjust as required.										£40.00	
	Floors.	Soiling and wear anticipated to floor coverings and associated trim.	Thoroughly clean or replace floor coverings as required.			£320.00								
<b>Hall</b>	Decoration.	Wear and tear anticipated to decorated surfaces including walls, ceilings, exposed steelwork, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.					£1,115.00		£220.00			£950.00	
	Ceilings.	The Ceiling and associated fittings are soiled.	Thoroughly clean as required.		£40.00		£35.00		£35.00		£40.00	£35.00		£35.00
	Doors.	General adjustment anticipated to internal doorsets.	Ease and adjust as required.									£45.00		



**PLANNED PREVENTATIVE MAINTENANCE SCHEDULE: CLAREMONT SPECIAL SCHOOL**

<b>Building.</b>	<b>Block C - Swimming Pool Building</b>											<b>Survey Date</b> 1st March 2017		
<b>Job No.</b>	<b>3051095</b>											<b>Surveyor</b> RT		
<b>Location</b>	<b>Element</b>	<b>Defect</b>	<b>Remedy</b>	<b>Cost</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>	<b>6</b>	<b>7</b>	<b>8</b>	<b>9</b>	<b>10</b>
<b>Windows</b>	Floors.	Soiling and wear anticipated to floor coverings and associated trim.	Thoroughly clean or replace floor coverings as required.		£105.00	£105.00	£105.00	£105.00	£105.00	£105.00	£670.00	£670.00	£105.00	£105.00
	Decoration.	Wear and tear anticipated to decorated surfaces including walls, ceilings, exposed steelwork, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.		£750.00	£915.00	£595.00	£595.00	£595.00		£165.00			
	Decoration	Previously decorated internal face of timber windows	Prepare surfaces and redecorate		£1,500.00					£1,500.00				
<b>TOTALS</b>					£8,837.00	£3,177.00	£8,872.00	£4,332.00	£6,122.00	£11,707.00	£6,762.00	£6,807.00	£5,707.00	£4,382.00

# CLAREMONT SPECIAL SCHOOL PLANNED PREVENTATIVE MAINTENANCE

## SUMMARY: Claremont School, Paediatric Community Centre



### PROPERTY DESCRIPTION

Property is a single storey structure with double pitched standing seam aluminium roof covering. External walls are timber clad. Windows are timber framed and double glazed. Internal finishes to the majority comprise of a combination of vinyl and carpet floor coverings with decorative finishes to walls and joinery.

### CONDITION:

### KEY MAINTENANCE ISSUES

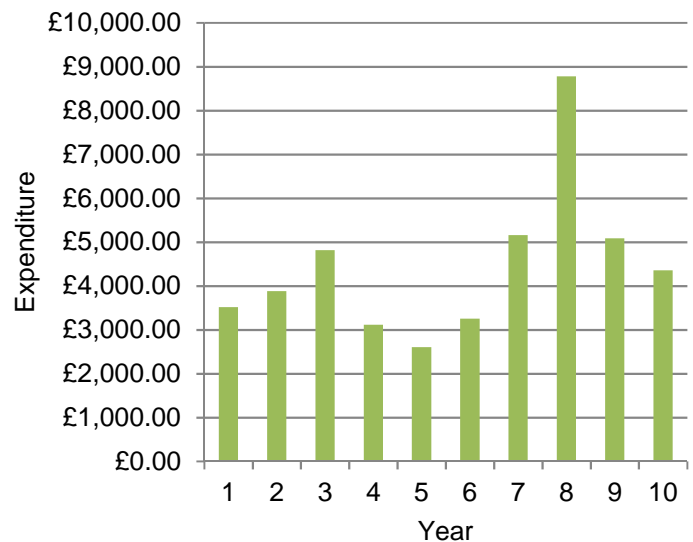
(Red = Urgent, Amber = Significant Issues, Green = Limited Risk)

- Consideration to improved rainwater drainage scheme

- Treatment and redecoration of cladding and windows

- General cleaning maintenance

### ANNUAL EXPENDITURE PROFILE



**PLANNED PREVENTATIVE MAINTENANCE SCHEDULE: CLAREMONT SPECIAL SCHOOL**

<b>Building.</b>	<b>Paediatric Communications Centre</b>											<b>Survey Date</b> 1st March 2017		
<b>Job No.</b>	<b>3051095</b>											<b>Surveyor</b> RT		
<b>Location</b>	<b>Element</b>	<b>Defect</b>	<b>Remedy</b>	<b>Cost</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>	<b>6</b>	<b>7</b>	<b>8</b>	<b>9</b>	<b>10</b>
<b>Paediatric Communication Aid Service</b>														
<b>Roofs</b>	Standing seam aluminium roof covering.	General soiling noted.	Thoroughly clean down.			£500.00			£500.00			£500.00		
	Central valley box gutter noted draining to hopper and downpipe.	Valley gutter noted with silt and vegetation growth.	Thoroughly clean down and remove debris from site.		£100.00	£100.00	£100.00	£100.00	£100.00	£100.00	£100.00	£100.00	£100.00	£100.00
	Timber fascias and bargeboards.	Minor weathering noted.	Allow for redecoration.				£850.00					£850.00		
<b>Elevations</b>	Timber cladding to all elevations.	Silvering noted and light staining throughout.	Recommend series of redecoration and/or staining and varnishing works.				£3,450.00					£3,450.00		
	Timber framed double glazed windows to all elevations with a stained and varnished finish.	Light deterioration noted to varnished finish.	Prepare surfaces and restrain and varnish.			£2,125.00					£2,125.00			
	External timber doors with inset double glazing units with a stained and varnished finish.	Light deterioration noted.	Recommend preparation and redecoration.			£600.00					£600.00			
	uPVC rainwater hopper and downpipe.	Majority of roof drainage exits via 1No hopper and downpipe with no direct connection to below ground drainage.	Cut in connection to below ground drainage and ensure sealed connection with inset rodding point.		£1,500.00									

**PLANNED PREVENTATIVE MAINTENANCE SCHEDULE: CLAREMONT SPECIAL SCHOOL**

<b>Building.</b>	<b>Paediatric Communications Centre</b>											<b>Survey Date</b> 1st March 2017		
<b>Job No.</b>	<b>3051095</b>											<b>Surveyor</b> RT		
<b>Location</b>	<b>Element</b>	<b>Defect</b>	<b>Remedy</b>	<b>Cost</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>	<b>6</b>	<b>7</b>	<b>8</b>	<b>9</b>	<b>10</b>
<b><u>INTERNALS PCAS Centre</u></b>  <b><u>Entrance lobby, Hallways Reception, Large Rm, Play Rm, Office</u></b>	Ceilings.	The Ceiling and associated fittings are soiled.	Thoroughly clean as required.			£110.00		£110.00		£110.00		£110.00		£110.00
	Roof Lights.	General soiling anticipated to roof light.	Thoroughly clean glazing and frames.											
	Windows.	General soiling anticipated to internal elevation of external windows.	Thoroughly clean glazing and frames.											
	Internal windows.	General soiling anticipated.	Thoroughly clean glazing and frames.		£25.00	£25.00	£25.00	£25.00	£25.00	£25.00	£25.00	£25.00	£25.00	£25.00
	Doors.	General adjustment anticipated to internal doorsets.	Ease and adjust as required.										£120.00	£105.00
	Floors.	Soiling and wear anticipated to floor coverings and associated trim.	Thoroughly clean or replace floor coverings as required.		£300.00	£300.00	£300.00	£300.00	£300.00	£300.00	£300.00	£1,345.00	£1,235.00	£1,235.00
	Fixtures.	General wear anticipated to cupboards.	Replace/repair cupboards as required.					£200.00						£350.00
	Decoration.	Wear and tear anticipated to decorated surfaces including walls, ceilings, exposed steelwork, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.					£2,260.00	£1,235.00	£1,100.00	£1,075.00	£1,375.00		£2,260.00
	Ceilings.	The Ceiling and associated fittings are soiled.	Thoroughly clean as required.			£20.00		£20.00		£20.00		£20.00		£20.00

**PLANNED PREVENTATIVE MAINTENANCE SCHEDULE: CLAREMONT SPECIAL SCHOOL**

<b>Building.</b>	<b>Paediatric Communications Centre</b>											<b>Survey Date</b> 1st March 2017		
<b>Job No.</b>	<b>3051095</b>											<b>Surveyor</b> RT		
<b>Location</b>	<b>Element</b>	<b>Defect</b>	<b>Remedy</b>	<b>Cost</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>	<b>6</b>	<b>7</b>	<b>8</b>	<b>9</b>	<b>10</b>
<b><u>Kitchen</u></b>	Doors.	General soiling and adjustment anticipated to internal doorsets.	Ease and adjust as required.										£40.00	
	Floors.	Soiling and wear anticipated to the vinyl floor coverings.	Thoroughly clean or replace floor coverings as required.		£25.00	£25.00	£25.00	£25.00	£25.00	£25.00	£25.00	£25.00	£340.00	£25.00
	Sanitary ware.	Soiling and staining anticipated.	Thoroughly clean as required.		£40.00	£40.00	£40.00	£40.00	£40.00	£40.00	£40.00	£40.00	£250.00	£40.00
	Decoration.	Wear and tear anticipated to decorated surfaces including walls, ceilings, exposed steelwork, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.								£120.00	£600.00	£150.00	
	Ceilings.	The Ceiling and associated fittings are soiled.	Thoroughly clean as required.			£10.00		£10.00		£10.00		£10.00		£10.00
	Doors.	General adjustment anticipated to internal doorsets.	Ease and adjust as required.											£50.00
	Floors.	Soiling and wear anticipated to floor coverings and associated trim.	Thoroughly clean or replace floor coverings as required.		£25.00	£25.00	£25.00	£25.00	£25.00	£25.00	£25.00	£330.00	£25.00	£25.00
	Fixtures.	General wear anticipated to sink & tea	Replace sink as required & tea point.						£350.00				£2,800.00	
	Decoration.	Wear and tear anticipated to decorated surfaces including walls, ceilings, exposed steelwork, joinery, pipework etc.	Undertake periodic redecoration maintenance throughout.								£725.00			
<b><u>Windows</u></b>	Decoration	Previously decorated internal face of timber windows	Prepare surfaces and redecorate		£1,500.00					£1,500.00				
<b>TOTALS</b>					£3,515.00	£3,880.00	£4,815.00	£3,115.00	£2,600.00	£3,255.00	£5,160.00	£8,780.00	£5,085.00	£4,355.00

# CLAREMONT SPECIAL SCHOOL PLANNED PREVENTATIVE MAINTENANCE

## SUMMARY: Claremont School, External Areas



### PROPERTY DESCRIPTION

External areas comprise of bitumen macadam, concrete paving slabs, Astro-turf and soft landscaping. Boundary and intermediate structures comprise of timber fencing, random rubble stone walls set to courses, and timber structures.

**CONDITION: Fair**

### KEY MAINTENANCE ISSUES

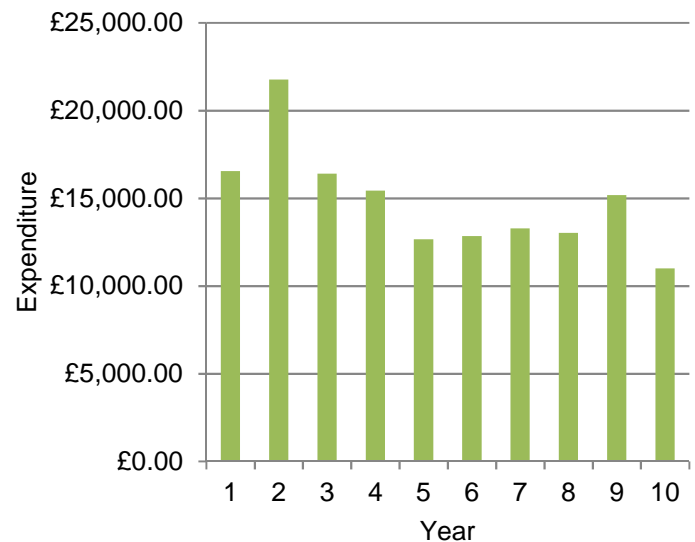
(Red = Urgent, Amber = Significant Issues, Green = Limited Risk)

- Timber fence post replacement to prevent collapse.
- Repairs to Bespoke Timber Canopy to prevent collapse.

- Cleaning and removal of weed growth to all paved areas.
- Replacement of wearing course to specified bitumen macadam areas.

- Routine treating and redecoration, as required.

### ANNUAL EXPENDITURE PROFILE



**PLANNED PREVENTATIVE MAINTENANCE SCHEDULE: CLAREMONT SPECIAL SCHOOL**

Building.	External Areas											Survey Date 1st March 2017		
Job No.	3051095											Surveyor RT		
Location	Element	Defect	Remedy	Cost	1	2	3	4	5	6	7	8	9	10
<b>External Areas</b>														
<b>West of Block A</b>	Timber Shed.	Shed is worn and suffers minor timber decay.	Repair/Replace shed as required.							£750.00				
	Canopy.	Soiling to timber frame.	Thoroughly clean and treat all surfaces as required.				£1,250.00							
	Fence.	General soiling and timber decay noted.	Repair/Replace & treat fence as required.		£132.00	£945.00								
	Walls.	Mortar joints suffer minor cracks and fractures.	Repointing mortar joints as required.				£1,165.00			£1,165.00			£1,165.00	
	Bitumen Macadam.	Macadam is soiled and suffers from weed growth.	Thoroughly clean, weed and treat surface.		£250.00		£3,375.00		£205.00	£225.00			£3,375.00	
		Fractures noted to wearing course.	Repair/Replace wearing course as required.		£600.00		£600.00		£4,250.00			£600.00		£600.00
<b>South of Block A/B Inc enclosed play area</b>	Metal Gateway.	General wear and tear anticipated to paint work.	Clean and redecorate as required.			£250.00						£250.00		
	Painted Timber Fence.	Decay, soiling and wear & tear noted.	Repair/redecorate timber fence as required.		£1,675.00	£1,390.00			£1,425.00		£1,390.00			£1,425.00
	Bitumen Macadam.	Anticipate soiling, fracturing and weed growth.	Thoroughly clean, weed, treat and repair surfaces, as required.			£1,000.00	£1,350.00		£650.00				£1,350.00	£650.00
	Timber Shelters.	Decay and wear anticipated.	Repair and thoroughly prepare and treat surfaces as required.					£5,000.00				£5,000.00		
	Timber Ramp.	Decay and wear anticipated.	Repair and thoroughly prepare and treat surfaces as required.			£660.00			£660.00				£660.00	

**PLANNED PREVENTATIVE MAINTENANCE SCHEDULE: CLAREMONT SPECIAL SCHOOL**

Building.	External Areas											Survey Date 1st March 2017		
Job No.	3051095											Surveyor RT		
Location	Element	Defect	Remedy	Cost	1	2	3	4	5	6	7	8	9	10
<b>Externals of Block C (Hall &amp; Pool)</b>	Astro Turf.	Anticipated general wear.	Replace as required.											£975.00
	Bitumen Macadam.	Macadam is soiled and suffers from weed growth, fractures anticipated.	Thoroughly clean, weed, treat repair surface as required.		£315.00		£1,000.00		£315.00	£1,000.00		£500.00	£500.00	£500.00
		Wear anticipated to paint surfaces.	Redecorate macadam as required.								£1,250.00			
	Concrete Paving Slabs.	Pavings are soiled and suffer from weed growth.	Thoroughly clean, weed and treat surfaces as required.			£240.00	£100.00			£340.00			£100.00	£240.00
		Anticipated wear and tear to pavings.	Replace concrete pavings as required.								£550.00			
<b>Externals North and East of Block B, Inc. enclosed areas &amp;</b>	Timber fence.	Anticipated wear and tear of timber fence.	Replace/Treat fence as required.							£150.00			£309.00	
	Concrete paving slabs.	Pavings are soiled with moss and weed growth.	Clean and weed concrete pavings.					£200.00				£200.00		
	Timber fence.	Anticipated wear and tear of timber fence.	Replace/Treat fence as required.		£100.00	£575.00				£210.00	£575.00		£309.00	
	Painted sprung macadam.	Surface is soiled with moss and weed growth.	Clean and weed as required.			£100.00		£100.00		£100.00		£100.00		£100.00
		Wear anticipated to paint macadam.	Redecorate macadam as required.										£600.00	
	Concrete paving.	Multiple Fractures and weed growth to concrete.	Replace concrete paving and clean/weed as required.		£3,850.00	£220.00		£3,330.00			£220.00			£220.00
	Bike shelter.	Surfaces are soiled and suffer from moss growth.	Thoroughly clean as required.			£100.00				£100.00				£100.00
		Painted surfaces are worn.	prepare and redecorate surfaces as required.									£600.00		



**PLANNED PREVENTATIVE MAINTENANCE SCHEDULE: CLAREMONT SPECIAL SCHOOL**

<b>Building.</b>	<b>External Areas</b>											<b>Survey Date</b> 1st March 2017		
<b>Job No.</b>	<b>3051095</b>											<b>Surveyor</b> RT		
<b>Location</b>	<b>Element</b>	<b>Defect</b>	<b>Remedy</b>	<b>Cost</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>	<b>6</b>	<b>7</b>	<b>8</b>	<b>9</b>	<b>10</b>
<b>Front Entrance Car park 7 courtyard of Paediatric Communication Aid Service</b>	Bitumen Macadam & associated Pavement.	Wearing course is soiled and fractured with moss and weed growth.	Replace, Clean and weed wearing course as required.		£245.00	£15,625.00		£2,000.00	£245.00	£2,500.00		£500.00	£2,000.00	£845.00
	Thermoplastic line markings (11 bays).	Line markings are heavily worn.	Replace thermoplastic line markings.			£650.00								
	Concrete paving slabs.	Surface is soiled with moss and weed growth.	Clean and weed as required.						£100.00					£100.00
	Boundary wall.	Surface is soiled with moss and weed growth.	Clean and weed as required.		£2,000.00					£500.00	£1,500.00			
		Mortar joints suffer minor cracks and fractures.	Repointing mortar joints as required.		£4,800.00		£4,800.00	£4,800.00	£4,800.00	£4,800.00	£4,800.00	£4,800.00	£4,800.00	£4,800.00
		Anticipate fractures to multiple copings.	Replace copings as required.							£1,000.00	£1,000.00			
	Gate, railing & hand railings.	Decorative finishes are worn and chipped.	Redecorate as required.		£180.00		£750.00					£480.00		£450.00
	Bespoke Timber Canopy with Zinc Roof.	surfaces are worn and soiled with moss and weed growth.	Thoroughly prepare, treat and weed as required.				£2,000.00				£2,000.00			
		6No. Column footings suffer from decay.	Replace to match existing column footings.		£2,100.00									
		1No. Columns is miss aligned.	Ease and re-align 1 no. columns.		£300.00									
<b>TOTALS</b>					£16,547.00	£21,755.00	£16,390.00	£15,430.00	£12,650.00	£12,840.00	£13,285.00	£13,030.00	£15,168.00	£11,005.00

# Claremont Special School | PLANNED PREVENTATIVE MAINTENANCE

## SUMMARY: Claremont Special School, M&E



**CONDITION:** The Mechanical, Electrical, Swimming Pool and Lift systems are maintained in a satisfactory manner and are in fair condition and should operate for the term of this report without major repair or replacement unless as shown in the PMP review.

## KEY MAINTENANCE ISSUES

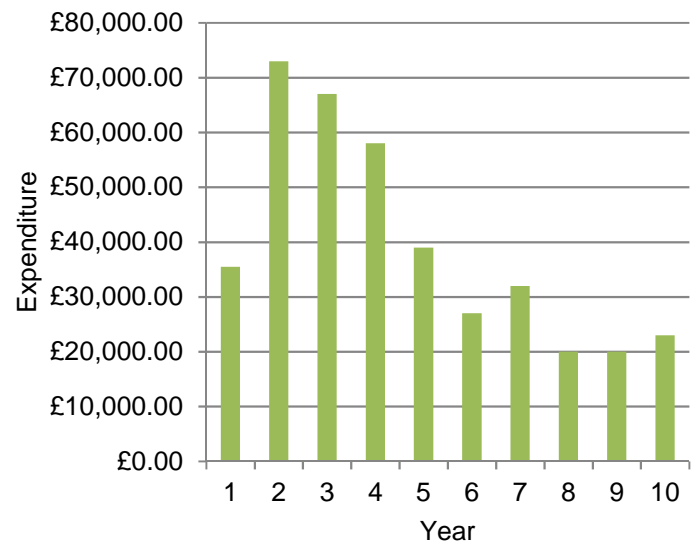
(Red = Urgent, Amber = Significant Issues, Green = Limited Risk)

Undertake fixed wiring and emergency lighting testing and carry out remedial works as found

Carry out planned replacement / refurbishment of boiler plant, underfloor heating, AHUs controls and fuse boards

Carry out planned replacement of water heaters

## ANNUAL EXPENDITURE PROFILE



**PLANNED PREVENTATIVE MAINTENANCE SCHEDULE: CLAREMONT SCHOOL**

Building.	Claremont Special School											Survey Date 15th February 2017		
Job No.	3051095											Surveyor		DE
Location	Element	Defect	Remedy	Cost	1	2	3	4	5	6	7	8	9	10
<b><u>Heating, Cooling and Ventilation</u></b>														
<b><u>Boiler Room</u></b>	Heating system.	The main boiler plant and associated pipework are showing signs of age with the two Strebel gas fired pressure jet heating boilers reaching an age where replacement is recommended to preserve life cycle. (No allowance for Asbestos).	Carry out replacement of boiler plant to preserve life cycle.					£20,000.00						
<b><u>Kitchen</u></b>	Gas system.	There is no evidence that the Landlord's Gas Safe testing has been fully carried out for the kitchen catering equipment.	Carry out testing of gas equipment in line with Gas Safe regulations.		£500.00									
<b><u>Throughout</u></b>	Heating system	There is no evidence that the heating systems are presenting any operational issues and whilst aged should operate with continued planned preventative maintenance through the life of the PMP plan	Continue with regular maintenance and repair as required as reactive maintenance.											
<b><u>Block B</u></b>	Heating system	Underfloor electric heating system in block B is aged and not providing adequate heating and should be replaced with a more efficient form of heating.	Carry out replacement of underfloor heating with a heat pump based system.			£30,000.00								

<b>Building.</b>	<b>Claremont Special School</b>											<b>Survey Date</b> 15th February 2017		
<b>Job No.</b>	<b>3051095</b>											<b>Surveyor</b>		DE
<b>Location</b>	<b>Element</b>	<b>Defect</b>	<b>Remedy</b>	<b>Cost</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>	<b>6</b>	<b>7</b>	<b>8</b>	<b>9</b>	<b>10</b>
<u><b>Pool plant room</b></u>	Ventilation system.	Barkell Air Handling Units (AHUs) serving the pool and changing areas are showing signs of age (installed 2000) and an overhaul is recommended to preserve the life cycle of the equipment.	Carry out light overhaul of AHUs to preserve life cycle to include clean and treat of all surfaces.			£10,000.00								
<u><b>Pool plant room</b></u>	Ventilation system.	There is no evidence that regular deep cleaning has taken place throughout the ventilation systems within the pool area.	Carry out deep clean of ductwork systems and review periodically.			£3,000.00								
<u><b>Throughout</b></u>	Controls.	The heating control system is generally operational, however the central operating units are likely to become obsolete during this plan.	Replace controls in conjunction with replacement works for the boilers.					£15,000.00						
<u><b>Electrical Services</b></u>														
<u><b>Switch room - Block B (Physio office)</b></u>	Low Voltage switchgear and associated equipment.	The switch panel and associated distribution board equipment is in fair condition however reaching an age where replacement is recommended to preserve life cycle.	Recommend that fuse boards are replaced with MCB protected distribution boards with RCBO protection of final circuits.				£18,000.00							
<u><b>Switch room - Block A</b></u>	Low Voltage switchgear and associated equipment.	The switch panel and associated distribution board equipment is in fair condition however reaching an age where replacement is recommended to preserve life cycle.	Recommend that fuse boards are replaced with MCB protected distribution boards with RCBO protection of final circuits.				£29,000.00							

Building.	Claremont Special School											Survey Date 15th February 2017		
Job No.	3051095											Surveyor		DE
Location	Element	Defect	Remedy	Cost	1	2	3	4	5	6	7	8	9	10
<u>Throughout</u>	Sub Mains Distribution.	Wiring within the building is in fair condition and should remain in service through this plan until its normal life cycle.	Subject to satisfactory testing of circuits, continue with regular maintenance and repair as required as reactive maintenance.											
<u>Throughout</u>	Small Power Final Circuits.	Equipment is in fair condition, however distribution boards are aged - the fixed wiring test of June 2011 is not current.	Undertake a Fixed Wiring test (BS7671). Carry out electrical testing with 100% test of all circuits immediately. Clear all Category 1 and 2 faults. Repeat testing after five years.		£5,000.00			£3,000.00			£3,000.00			£3,000.00
<u>Throughout</u>	Lighting.	Lighting is in fair condition generally and should remain in service through this plan or until areas are refurbished.	Subject to satisfactory testing of circuits, continue with regular maintenance and repair as required as reactive maintenance.											
<u>Throughout</u>	Emergency Lighting.	Emergency lighting is provided by stand alone light fittings or by integral batteries within light fittings. It is unclear if there is a regular testing programme for emergency lighting.	Review complete emergency lighting system, carry out full battery drop test and replace batteries as required. Install new fittings and place clear identification on all fittings.		£5,000.00					£5,000.00				
<u>Throughout</u>	Fire Alarm System.	Equipment is in reasonable condition (installed in 2007) and should remain in service through this plan until its normal life cycle.	Continue with regular maintenance and repair as required as reactive maintenance.											

<b>Building.</b>	<b>Claremont Special School</b>											<b>Survey Date</b> 15th February 2017		
<b>Job No.</b>	<b>3051095</b>											<b>Surveyor</b>		DE
<b>Location</b>	<b>Element</b>	<b>Defect</b>	<b>Remedy</b>	<b>Cost</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>	<b>6</b>	<b>7</b>	<b>8</b>	<b>9</b>	<b>10</b>
<u>Throughout</u>	Mains Water Supply.	Equipment is in fair condition and should remain in service through this plan until its normal life cycle.	Continue with regular maintenance and repair as required as reactive maintenance.											
<u>Throughout</u>	Hot Water Boilers.	Electric Heatrae Sadia multipoint water heaters are in reasonable condition (installed within the last 2/3 years) but this type of heater generally has a limited life cycle and replacement can be expected during the term of this PMP plan.	Continue with regular maintenance and replace water heaters as required.						£4,000.00					
<u>Throughout</u>	Domestic Hot and Cold Water Distribution.	Domestic hot and cold water pipework is operational. Equipment is in fair condition and should remain in service through this plan until its normal life cycle.	Continue with regular maintenance and repair as required as reactive maintenance.											
<u>Throughout</u>	Water Management.	Rigid water management is important in the operation of an education establishment of this nature. Last available Water Risk Assessment dated July 2012 and the system has been amended in the past few years by the installation of mains water fed electric water heaters	Review Water Risk Assessment following works to install water heaters and carry out improvements as identified by the risk assessment and review periodically.	£3,000.00						£2,000.00				

Building.	Claremont Special School											Survey Date 15th February 2017		
Job No.	3051095											Surveyor		DE
Location	Element	Defect	Remedy	Cost	1	2	3	4	5	6	7	8	9	10
<u>Pool plant room</u>	Swimming pool Equipment.	Swimming pool filtration and dosing equipment is in fair condition but heavily used. The dosing equipment (installed 2000) generally has a limited life cycle and replacement can be expected during the term of this PMP plan.	Replace pool water dosing equipment as it becomes life expired.			£8,000.00								
<u>Throughout</u>	Underground Drainage.	Underground drainage was not inspected as part of this review and no observations were made during our visit by maintenance staff.	Underground CCTV survey of the drainage is recommended to identify any faults or confirm that the underground drainage is in a reasonable condition.			£2,000.00					£2,000.00			
<u>Throughout</u>	Natural Gas Supply and Distribution.	Gas as supplied to the boilers and catering equipment is operational and in good condition.	Continue with regular maintenance and repair as required as reactive maintenance.											
<u>Kitchen</u>	Catering Equipment.	Catering equipment is heavily used and this type of equipment generally has a limited life cycle and replacement can be expected during the term of this PMP plan.	Replace catering equipment as it becomes life expired.								£7,000.00			
<u>Throughout</u>	Security System including Entrance Doors.	System is in a fair condition and is operational and is expected to continue through the length of the PMP plan.	Continue with regular maintenance, include a mid life upgrade in year five and repair as required as reactive maintenance.						£5,000.00					

<b>Building.</b>	<b>Claremont Special School</b>											<b>Survey Date</b> 15th February 2017		
<b>Job No.</b>	<b>3051095</b>											<b>Surveyor</b>		DE
<b>Location</b>	<b>Element</b>	<b>Defect</b>	<b>Remedy</b>	<b>Cost</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>	<b>6</b>	<b>7</b>	<b>8</b>	<b>9</b>	<b>10</b>
<b>Block A</b>	Platform lift.	The 2 stop 400kg platform lift (2007) is in good condition but this type of lift generally has a limited life cycle and refurbishment can be expected during the term of this PMP plan.	Refurbish platform lift as it becomes life expired.						£10,000.00					
<b>Throughout</b>	Hoist and Rail Systems including slings.	Systems are in a fair condition and are expected to continue through the length of the PMP plan. Inspection of May 2016 identified six units as requiring attention. Planned maintenance.	Continue with regular maintenance and repair defective units and continue as required with reactive maintenance.	£2,000.00										
<b>Throughout</b>	All M & E services and swimming pool / lift systems.		Regular planned maintenance and minor repairs as required from reactive maintenance.	£20,000.00	£20,000.00	£20,000.00	£20,000.00	£20,000.00	£20,000.00	£20,000.00	£20,000.00	£20,000.00	£20,000.00	£20,000.00
<b>TOTALS</b>					£35,500.00	£73,000.00	£67,000.00	£58,000.00	£39,000.00	£27,000.00	£32,000.00	£20,000.00	£20,000.00	£23,000.00



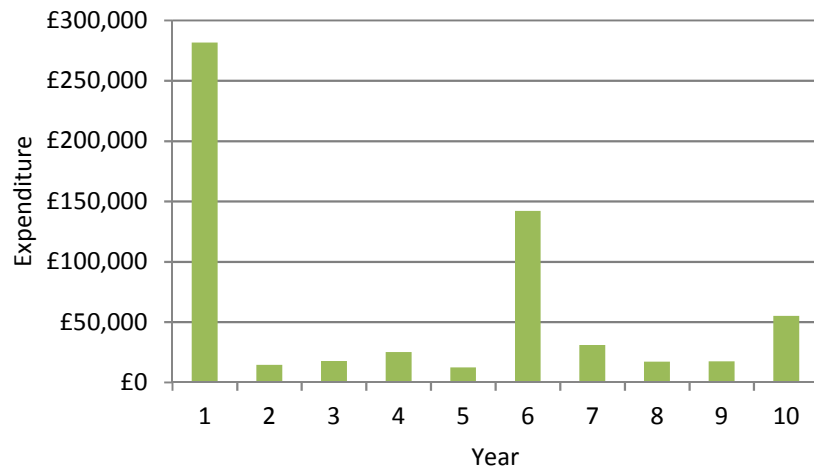
## 4.0 Expenditure Summaries

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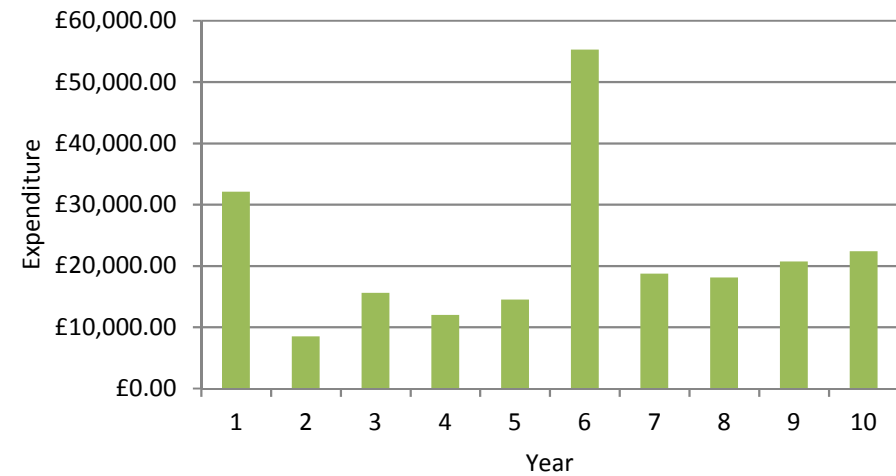
# CLAREMONT SPECIAL SCHOOL PLANNED PREVENTATIVE MAINTENANCE

## EXPENDITURE SUMMARIES

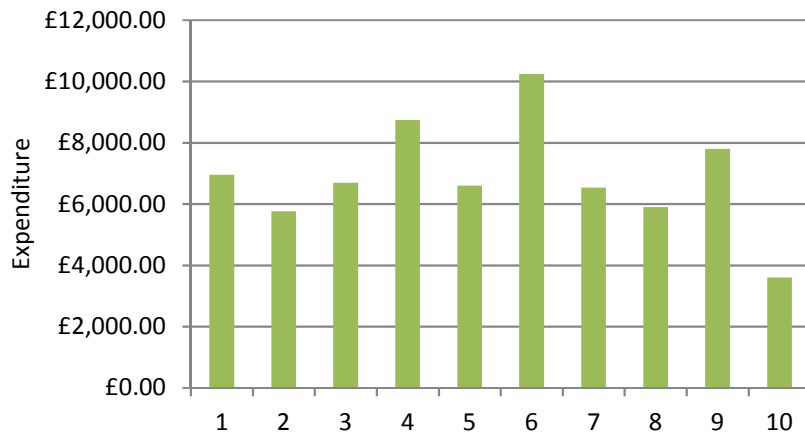
**Block A**



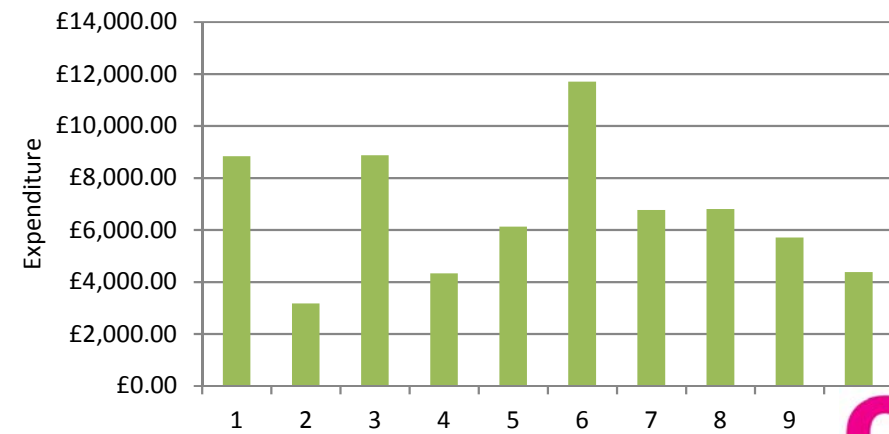
**Block B**

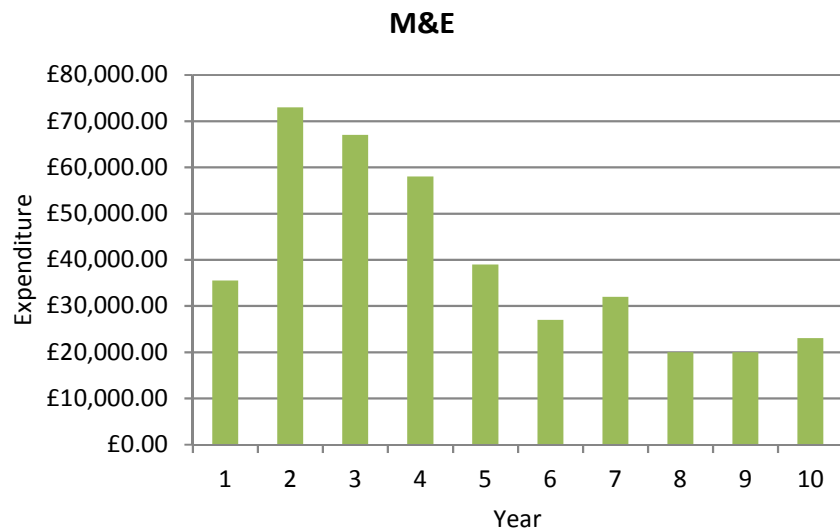
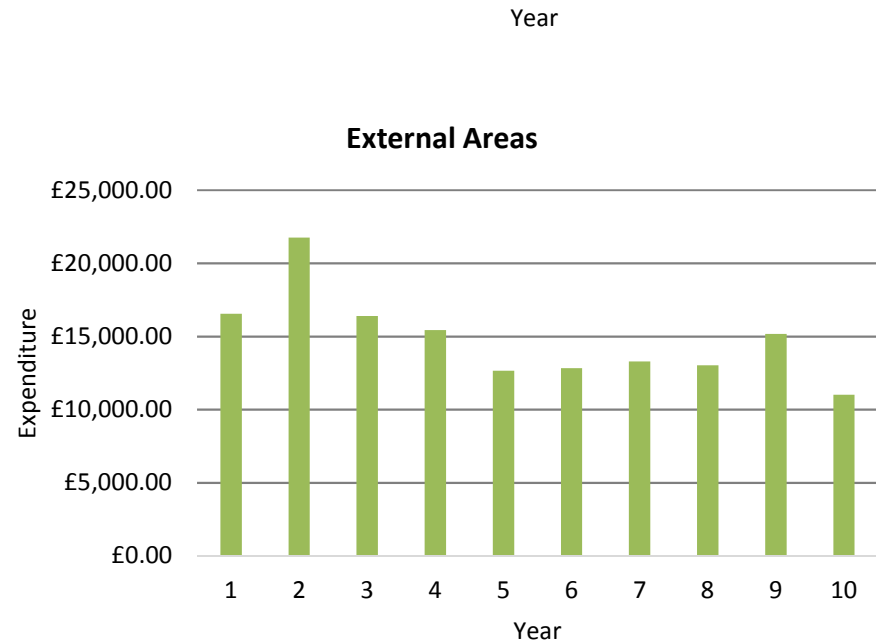
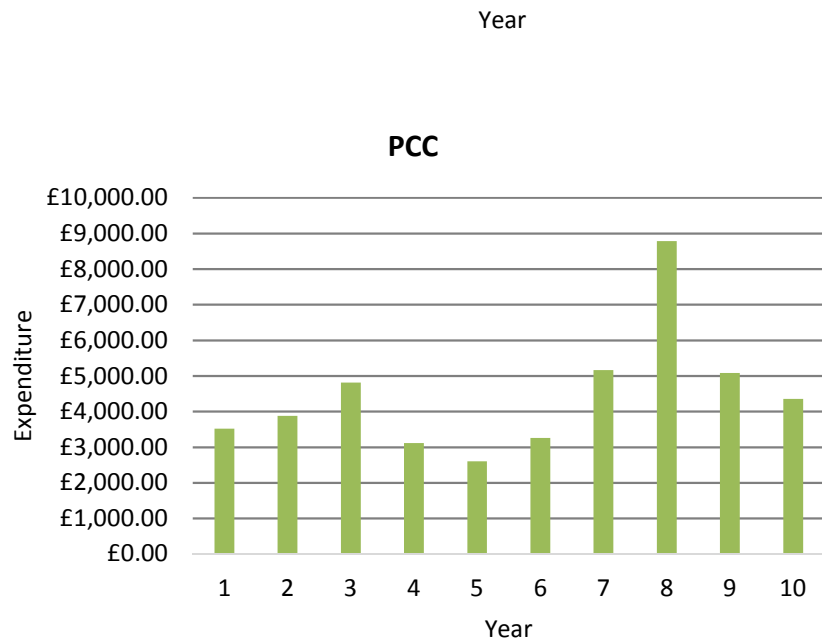


**Block C - School Hall**



**Block C - Swimming Pool**





# CLAREMONT SPECIAL SCHOOL PLANNED PREVENTATIVE MAINTENANCE

## ANNUAL EXPENDITURE SUMMARY

Job No.	3051095	Year										
Ref.	Location	1	2	3	4	5	6	7	8	9	10	TOTAL
1	Block A	£281,585	£14,445	£17,765	£25,090	£12,350	£142,160	£30,845	£17,065	£17,268	£55,125	£613,698
2	Block B	£32,102	£8,512	£15,572	£11,965	£14,506	£55,267	£18,717	£18,122	£20,720	£22,382	£217,865
3	Block C - School Hall	£6,955	£5,760	£6,690	£8,740	£6,600	£10,240	£6,535	£5,900	£7,795	£3,595	£68,810
4	Block C - Swimming Pool	£8,837	£3,177	£8,872	£4,332	£6,122	£11,707	£6,762	£6,807	£5,707	£4,382	£66,705
5	External Areas	£16,547	£21,755	£16,390	£15,430	£12,650	£12,840	£13,285	£13,030	£15,168	£11,005	£148,100
6	PCC	£3,515	£3,880	£4,815	£3,115	£2,600	£3,255	£8,780	£8,780	£5,085	£4,355	£48,180
7	M&E	£35,500	£73,000	£67,000	£58,000	£39,000	£27,000	£32,000	£20,000	£20,000	£23,000	£394,500
TOTALS		£385,041	£130,529	£137,104	£126,672	£93,828	£262,469	£116,924	£89,704	£91,743	£123,844	£1,557,858

## ANNUAL EXPENDITURE SUMMARY: GRAPH

